



Fee must accompany application

- \$700 Minor Addition
- \$1,240 Construction <10,000 SF
- \$2,095 Construction 10,000 SF to 50,000
- \$3,460 Industrial Construction >50,000 SF
- \$3,460 Commercial Construction >50,000
- \$200 Plan Commission Consultation
- \$125 Fire Department Plan Review

PAID 1/6/22 DATE EZ

SITE PLAN REVIEW APPLICATION

Pursuant to Section 17.43 of the Municipal Code

Please read and complete this application carefully. All applications must be signed and dated.

1 APPLICANT OR AGENT
Zilber Property Group
710 N. Plankinton Avenue
Suite 1100
Milwaukee, WI 53203

 Phone (414) 274-2916
 E-Mail Frank.dekan@zilber.com

PROPERTY OWNER
ZPG Development LLC
710 N. Plankinton Avenue
Suite 1100
Milwaukee, WI 53203

 Phone (414) 274-2632
 E-Mail John.Kersey@zilber.com

2 PROPERTY ADDRESS

Zilber Industrial 5 at Germantown Gateway Corporate Park
 Gateway Crossing
 Richfield, WI 53076

Actual Address to be determined

3 NEIGHBORING USES - Specify name and type of use, e.g. Enviro Tech - Industrial, Smith - Residential, etc.

North	South	East	West
Rural	Industrial	Industrial	Rural

4 READ AND INITIAL THE FOLLOWING:

I am aware of the Village of Germantown ordinance requiring fire sprinklers in most new construction.

I understand that all new development is subject to Impact and/or Connection Fees that must be paid before building permits will be issued.

I understand that an incomplete application will be withdrawn from the Plan Commission agenda and that all resubmissions to the Plan Commission are subject to a new application fee.

5 SIGNATURES - ALL APPLICATION MUST BE SIGNED BY OWNER!

Frank Dekan 1/3/22
 Applicant Date

John W. Kersey 1/3/22
 Owner Date
 By Towne Realty Inc manager
 By John W. Kersey
Cx Vice President

SITE PLAN REVIEW CHECKLIST

Pursuant to Section 17.43 of the Municipal Code

This checklist provides a summary of requirements found in the Municipal Code. It is intended purely as a guide for developers and should not substitute for a full review of the Code and applicable regulations. (Revised 1/02)

GENERAL INFORMATION

- Provide Completed Checklist with submittal
- Names and addresses of owner/developer/designer
- Graphic scale, north arrow
- Location sketch
- Size of site (gross and net acreage)
- Existing zoning
- Adjacent zoning and uses
- N/A Number of residents (subdivisions)
- N/A Number of employees

EXISTING SITE INFORMATION

- Dimensions of site and lot lines (pipes found, pipes set, monuments)
- Existing grades (2' contours minimum)
- Adjacent property grades (within 10' minimum of property lines)
- Adjacent structures (within 20' minimum of property lines)
- Drainage systems and structures
- Natural features (woods, streams, lakes, ponds, outcroppings)
- Wetland boundaries (provide date of staking)
- Floodplain elevation and boundaries N/A
- Environmental concerns (underground tanks, etc) N/A
- Roads, curbs, parking lots, pavement areas
- Structures (location, size) N/A
- Rights-of-Way (existing/ultimate)
- Easements (drainage, utility)
- Existing utilities (sanitary, water, electric, gas, telephone)
- Benchmark locations and elevations
- Location of fences, wells, borings, etc.

ARCHITECTURAL PLANS

- N/A Existing building location
- N/A Existing building elevations/materials
- Proposed use (use list from Section 17.45)
- Statement of design intent (narrative)
- Proposed floor plans (dimension)
- Square footage (total and individual rooms/stores)
- Proposed elevations (dimension)
- Proposed building height

- Proposed materials and colors (material sample board required for new construction)
- N/A Proposed signage (elevations, color, square footage, height, construction material, lighting)
- N/A Details of any special features

PROPOSED SITE PLAN

- Grading and spot elevations
- Erosion control measures (silt fencing, hay bales, rip-rap, tracking mat, stockpile locations)
- Stormwater management **Report was done in a previous phase**
 - stormwater management design report
 - general drainage pattern
 - swales w/ arrows for direction of flow
 - pond design with outfalls
 - culverts (location/size)
- Utilities (size, invert elevations, length, slope, etc.)
 - sanitary
 - water
 - stormsewer
- Building location (dimension)
- Building elevation (finished grade)
- N/A Location of proposed signage
- N/A Details of outside storage (including trash receptacles) **Trash receptacles are inside of building**
- Setbacks (clearly marked and dimensioned)
- Vehicular entrances (dimension to centerline of nearest intersection)
- Streets (dimension and direction for one-ways)
- Curve radii
- Sidewalks (dimension)
- Parking areas (show striping/spot elevations)
- Parking setback from property line
- Loading areas (dimension)
- Lot coverage
 - Square footage total
 - Impervious surfaces total (%)
 - Green space total (%)
 - Percent permitted (over/under %)
- Municipal utility connections
 - Sanitary sewer (pipe size/elevations)
 - Water (size, valve location, elevations)
 - Location of hydrants
- Easement for public water mains N/A

LIGHTING PLAN

- Major improvements for context
- N/A Location/nature of existing fixtures
- Location of proposed fixtures
- Photometric report (to scale on plan)
- Manufacturers cut-sheets of all fixtures
- Lighting schedule
 - key to plan
 - number/type of fixtures
 - output (wattage)
- Installation details as appropriate

LANDSCAPING PLAN

- Major improvements for context (building, drives, walks)
- Proposed outdoor amenities (benches, paths, etc.) N/A
- Existing vegetation none
 - Species
 - Size
 - Approximate canopy in plan
- Vegetation to be destroyed none
 - List and show location
- Proposed method of saving existing vegetation during construction
- Proposed landscape features (berms, fountains)
- Existing/proposed lighting
- Irrigation/watering systems (locate outlets) N/A
- Plant lists or schedules
 - Keyed to plan
 - Number of each species
 - Size when planted (caliper)
- Installation details/staking

MODEL SUBMITTAL

INCLUDES THE FOLLOWING PLANS:

- Cover / Title Page
- Existing Conditions Survey
- General Site Plan
- Grading, Paving & Erosion Control Plan
- Utility Plan
- Site Details (curbing, catch basins, detention ponds, pavement, erosion control and sign details)
- Landscape Plan
- Landscape details (planting schedule, berming cross-sections, method of installation)
- Lighting Plan
- Floor Plan
- Exterior Building Elevations
- Building Material Sample Board

In addition to the items on this list, Village Staff and/or the Plan Commission may require additional drawings and data to be submitted for approval.

If any public improvements or work is to be done in the Public Right-of-Way, the Village will require that a Developer's Agreement be submitted and approved by the Village Board.

January 06, 2022

Re: Statement of Design Intent
Site Plan Review Application Submitted January 6th, 2022

The proposed Zilber Industrial V at Germantown Gateway Corporate Park project is a 233,282 square foot industrial building that will be developed in a manner consistent with other institutional-quality industrial development projects recently completed by Zilber Property Group including the adjacent 706,840 sf industrial build to suit for Briggs & Stratton Corp., the 146,000 sf Zilber Industrial IV building, the 204,373 sf Zilber Industrial III building and the 198,342 sf Zilber Industrial II building. The Zilber Industrial V building will be located in the newly developed Germantown Gateway Corporate Park, which is generally located at the intersection of Holy Hill Road and Gateway Crossing in the northeast quadrant of the US 41 and Holy Hill Road interchange.

As currently proposed, the building will feature stepped/recessed corner conditions and an intermediate employee entrance. The building will consist of 12ft & 14ft wide and 32ft clear height painted and insulated precast wall panels that have multiple reveals and will be painted in tones between white and grey colors to help reduce the overall scale of the building. Additionally, the building elevation is stepped to further break the scale down and panels are recessed to create additional shadow lines. Around the building, the project includes clearstory windows to provide natural daylight within the building. The precast panel steps/recesses, paint and glazing are continued around the building to create four-sided architecture.

PROJECT:
ZILBER INDUSTRIAL 5
 GERMANTOWN GATEWAY CORPORATE PARK
 GERMANTOWN, WISCONSIN



215 N. WATER STREET, SUITE 250
 MILWAUKEE, WISCONSIN 53202
 T 414.277.9700 | F 414.277.9705
 spsarchitects.com



CREATIVITY BEYOND ENGINEERING

PROJECT

PROPOSED BUILDING FOR:

ZILBER INDUSTRIAL 5
 GERMANTOWN GATEWAY
 CORPORATE PARK
 GATEWAY CROSSING & ROCKFIELD ROAD
 GERMANTOWN, WI

OWNER

ZILBER
 PROPERTY GROUPSM

CONTRACTOR



REVISIONS

NO.	DESCRIPTION	DATE



DRAWING INDEX

NO.	DESCRIPTION	DATE
G000	TITLE PAGE	
CIVIL		
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C-4	SITE DIMENSION & PAVING PLAN	
C-5	SITE DIMENSION & PAVING PLAN	
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C-7	SITE GRADING PLAN	
C-8	SITE GRADING PLAN	
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C-10	UTILITY PLAN	
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L-1	LANDSCAPE OVERVIEW & TREE PLAN	
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L-3	LANDSCAPE ENLARGEMENT	
L-4	LANDSCAPE GENERAL NOTES & DETAILS	
ARCHITECTURAL		
A050	ARCHITECTURAL SITE PLAN	
A100	FACILITY PLAN	
A101A	CONSTRUCTION PLAN 'A'	
A101B	CONSTRUCTION PLAN 'B'	
A102	CONSTRUCTION PLAN - ROOF	
A401	BUILDING ELEVATIONS	
A402	BUILDING ELEVATIONS	
ELECTRICAL		
E-1	Z5 SITE LIGHTING PLAN	

INFORMATION

PROJECT ARCHITECT	SRC
PROJECT MANAGER	MAM
PROJECT NUMBER	211105
ISSUED FOR	MUNICIPAL REVIEW
DATE	JANUARY 6, 2022

SHEET

TITLE PAGE

G000

ISSUED FOR: **MUNICIPAL REVIEW**

ARCHITECT:
STEPHEN PERRY SMITH ARCHITECTS, INC.
 MILWAUKEE, WISCONSIN

ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

FOR

ZILBER INDUSTRIAL 5 AT GERMANTOWN

GATEWAY CORPORATE PARK

GERMANTOWN, WI

PLANS PREPARED
FOR
ZILBER
PROPERTY GROUP SM

PROJECT TEAM CONTACTS	
CIVIL ENGINEER: ADAM ARTZ, P.E., ANDREW SHOAF, P.E. PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888	ARCHITECT: MATTHEW A. MANO VICE PRESIDENT, PE LEED-AP STEPHEN PERRY SMITH ARCHITECTS, INC. 215 N. WATER STREET, SUITE 250 MILWAUKEE, WI 53202 (414) 277-9700
SURVEYOR: JOHN KONOPACKI, P.L.S. PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888	APPLICANT: FRANK DEKAN ZILBER PROPERTY GROUP 710 N. PLANKINGTON AVENUE MILWAUKEE, WI 53202 (414) 234-1100

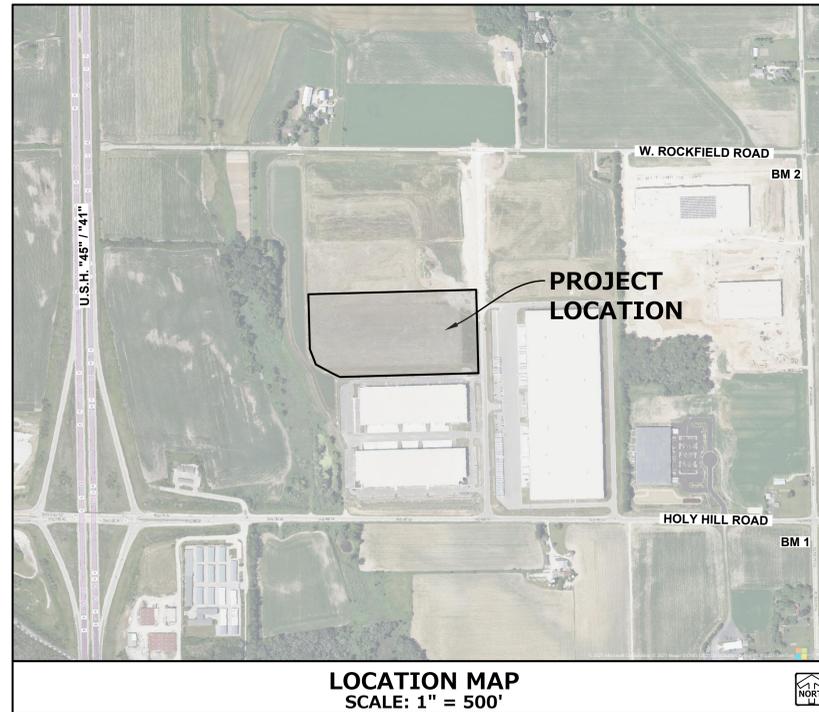
BENCHMARKS	
VERTICAL DATUM:	NGVD 29
HORIZONTAL DATUM:	NAD 1927
BM 1: CONCRETE MONUMENT WITH BRASS CAP AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 SECTION 7, TOWN 9 NORTH, RANGE 20 EAST, ELEVATION = 933.82.	
BM 2: CONCRETE MONUMENT WITH BRASS CAP AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 SECTION 7, TOWN 9 NORTH, RANGE 20 EAST, ELEVATION = 945.69.	

INDEX OF SHEETS	
C-1	COVER SHEET
C-2	EXISTING CONDITION PLAN
C-3 - C-5	SITE DIMENSION & PAVING PLAN
C-6 - C-8	SITE GRADING PLAN
C-9 - C-11	UTILITY PLAN
C-12 - C-14	SITE STABILIZATION PLAN
C-15 - C-17	CONSTRUCTION DETAILS
L-1 - L-4	LANDSCAPE PLAN

REQUIRED SUBMITTALS FOR APPROVAL	
1.	HOT MIX ASPHALT - MIX DESIGN
2.	CONCRETE PAVEMENTS (EXTERIOR) - MIX DESIGN & JOINT PLAN
3.	PAVEMENT STONE BASE COURSE - GRADATION
4.	PIPE BEDDING & TRENCH BACKFILL - GRADATION
5.	MANHOLE BACKFILL - GRADATION
6.	PAVEMENT MARKING PAINT

REQUIRED SUBMITTALS FOR RECORDS	
1.	WATER MAIN PIPES, VALVES, HYDRANTS & FITTINGS
2.	SANITARY SEWER PIPE & FITTINGS
3.	STORM SEWER PIPE, STRUCTURES, & FITTINGS
4.	TRACER WIRE
5.	UNDERGROUND UTILITY LOCATION RECORD DRAWINGS
6.	ADA SIGN, PAINT & STENCILS
7.	CHEMICAL SOIL STABILIZATION MIX DESIGN (IF APPLICABLE)

LEGEND		
	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊕	⊕
STORM SEWER CATCH BASIN (ROUND CASTING)	⊗	⊗
STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	⊠	⊠
PRECAST FLARED END SECTION	⊡	⊡
CONCRETE HEADWALL	⊢	⊢
VALVE BOX	⊕	⊕
FIRE HYDRANT	⊕	⊕
CLEANOUT	⊕	⊕
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
FIRE PROTECTION	—	—
ELECTRICAL CABLE	—	—
OVERHEAD WIRES	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
UTILITY CROSSING	—	—
CAUTION EXISTING UTILITIES NEARBY	⚠ CAUTION	
GRANULAR TRENCH BACKFILL	▨	
LIGHTING	⚡	
ELECTRICAL TRANSFORMER OR PEDESTAL	⊞	
POWER POLE	⊞	
POWER POLE WITH LIGHT	⊞	
GUY WIRE	—	
STREET SIGN	—	
CONTOUR	749	749
SPOT ELEVATION	x (750.00)	+750.00
WETLANDS	—	
PRIMARY ENVIRONMENTAL CORRIDOR	—	
FLOODWAY	—	
FLOODPLAIN	—	
HIGH WATER LEVEL (HWL)	—	
NORMAL WATER LEVEL (NWL)	—	
DIRECTION OF SURFACE FLOW	→	
DITCH OR SWALE	—	
DIVERSION SWALE	—	
OVERFLOW RELIEF ROUTING	—	
TREE WITH TRUNK SIZE	—	
SOIL BORING	—	
TOPSOIL PROBE	—	
FENCE LINE, TEMPORARY SILT	—	
FENCE LINE, WIRE	—	
FENCE LINE, CHAIN LINK OR IRON	—	
FENCE LINE, WOOD OR PLASTIC	—	
CONCRETE SIDEWALK	—	
CURB AND GUTTER	—	
DEPRESSED CURB	—	
REVERSE PITCH CURB & GUTTER	—	
EASEMENT LINE	—	



GENERAL NOTES	
1. THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.	8. COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS. ALL APPLICABLE PERMITS HAVE BEEN OBTAINED, AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
2. A GEOTECHNICAL REPORT HAS BEEN PREPARED BY GILES ENGINEERING ASSOCIATES, INC. JUNE 28TH, 2018. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.	9. SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
3. THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.	10. THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
4. THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.	11. THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON HIS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.	12. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
6. QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.	13. CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL 'GOOD HOUSEKEEPING.'
7. PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.	14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

ABBREVIATIONS			
BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FR	FLOODPLAIN	TC	TOP OF CURB
FP	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	∠	INTERSECTION ANGLE

DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

EXPIRATION DATE: July 31, 2022

PINNACLE ENGINEERING GROUP, LLC - ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
(262) 754-8888
CHICAGO OFFICE: 1400 N. LAKE STREET
CHICAGO, IL 60610

ZILBER
PROPERTY GROUP SM

ZILBER INDUSTRIAL 5 AT GERMANTOWN
GATEWAY CORPORATE PARK
GERMANTOWN, WI

COVER SHEET

REVISIONS	
1	MUNICIPAL SUBMITTAL 01/06/22

SHEET
C-1
of
C-17

COVER SHEET

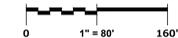
THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

www.pinnacle-engr.com

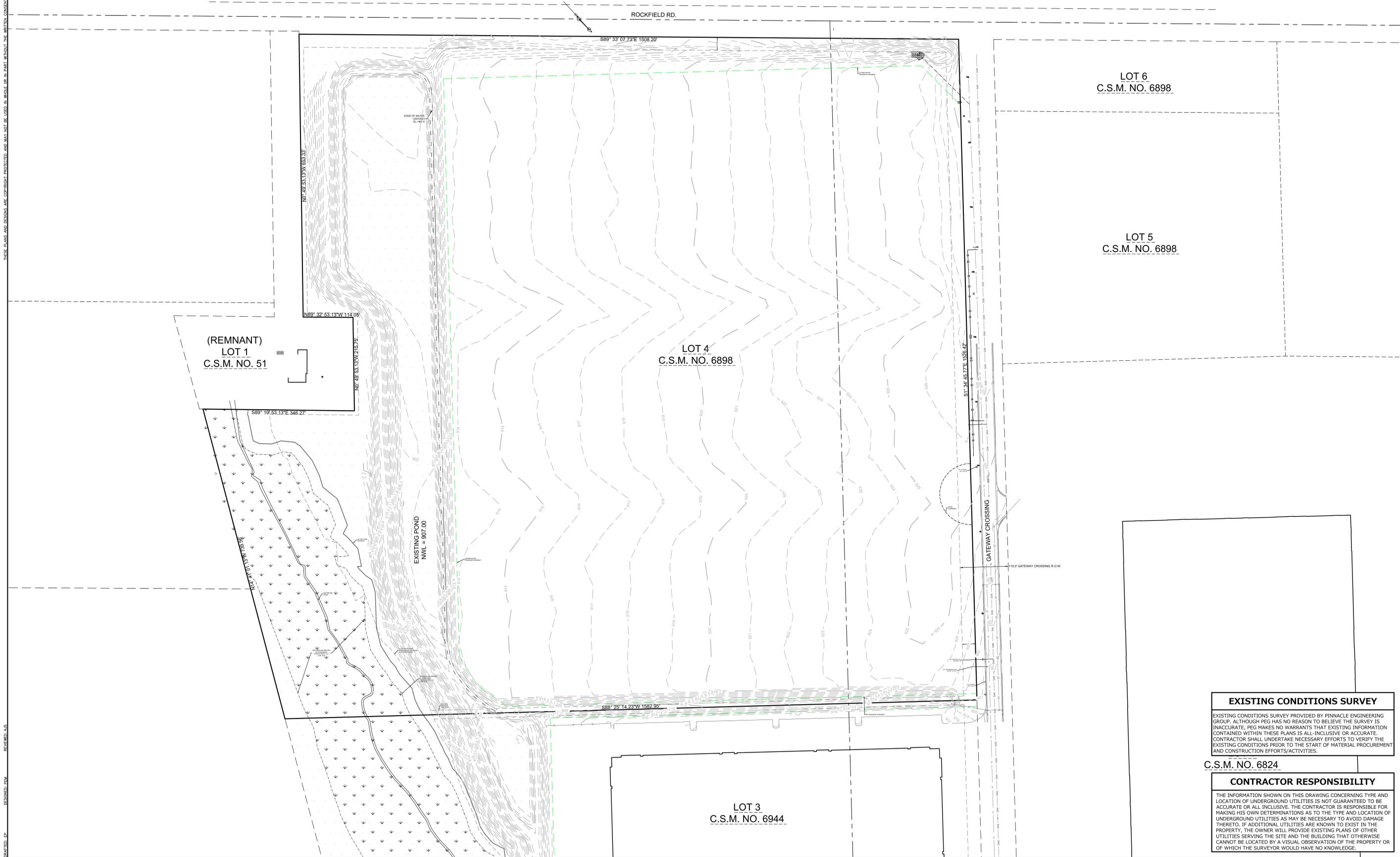
THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC



GRAPHICAL SCALE (FEET)



www.pinnacle-engr.com



(REMNANT)
LOT 1
C.S.M. NO. 51

LOT 4
C.S.M. NO. 6898

LOT 6
C.S.M. NO. 6898

LOT 5
C.S.M. NO. 6898

LOT 3
C.S.M. NO. 6944

EXISTING CONDITIONS SURVEY
EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

C.S.M. NO. 6824

CONTRACTOR RESPONSIBILITY
THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
20725 WATERTOWN ROAD, SUITE 100
ROCKFIELD, WI 53166
(262) 754-8888
CHICAGO (MILWAUKEE) | NATIONWIDE

ZILBER
PROPERTY GROUP SM

**ZILBER INDUSTRIAL 5 AT GERMANTOWN
GATEWAY CORPORATE PARK
GERMANTOWN, WI**

EXISTING CONDITION PLAN

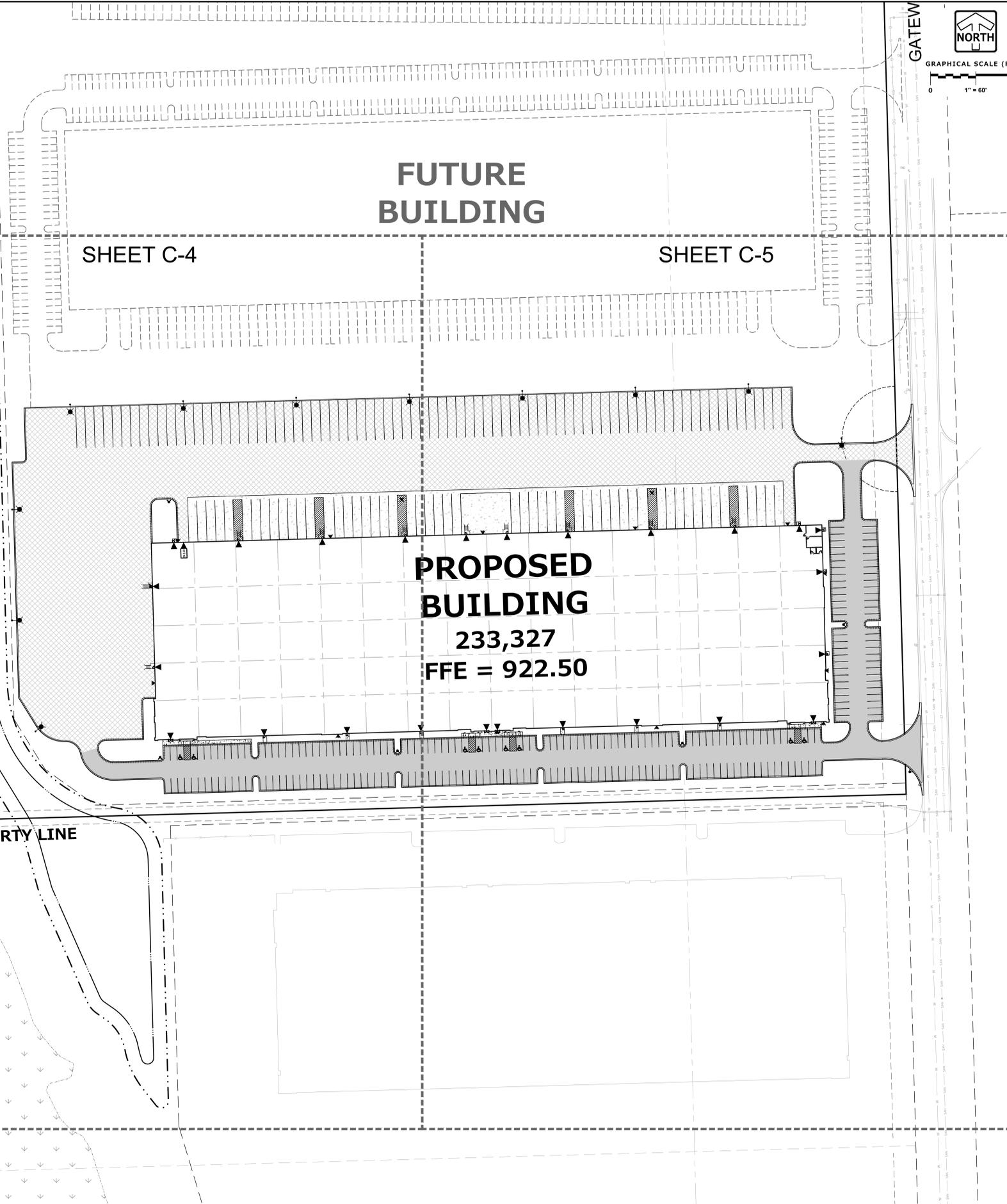
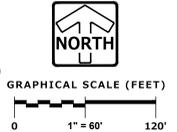
REVISIONS		REG. JOB NO. 1296.00E	AJS	SHEET
NO.	DATE			
1	MUNICIPAL SUBMITTAL 01/06/22			C-2
				C-17

START DATE: 03/04/19
SCALE: 1" = 80'

EXISTING CONDITION PLAN

SITE AND DIMENSIONAL PLAN NOTES

- ALL DIMENSIONS ARE EDGE OF PAVEMENT, FACE OF CURB, SHOULDER, OR CENTER OF LANE LINE UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- ALL PROPOSED CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER (SEE DETAIL), UNLESS OTHERWISE NOTED. CURB AND GUTTER DRAINING AWAY FROM THE FACE OF CURB IS NOTED AS REVERSE CURB AND GUTTER.
- BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
- IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
- REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
- SEE ADDITIONAL NOTES AND DETAILS ON SITE DIMENSIONAL PLANS AND CONSTRUCTION DETAILS.
- ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF GERMANTOWN ORDINANCES, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
- CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
- PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
- THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
- DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
- LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS, STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
- PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
- BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS:
 - CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.
 - WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 55° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - BINDER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - SURFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
 - SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
- TRAFFIC CONTROL SHALL BE PER M.U.T.C.D.
- PUBLIC CURB & GUTTER REPLACEMENT SHALL BE TIED TO EXISTING CURB & GUTTER WITH #4 TIE BARS. PUBLIC CURB & GUTTER SHALL BE A 6-BAG MIX.



LEGEND	
	LIGHT DUTY PAVEMENT - 8" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED VIRGIN LIMESTONE) - 3" ASPHALTIC CONC. (1 LIFT) (SMT 58-28 S)
	HEAVY DUTY PAVEMENT - 10" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED VIRGIN LIMESTONE) - 4" ASPHALTIC CONC. (2 LIFTS) 2.75" LOWER LAYER (SMT 58-28 S) 1.75" UPPER LAYER (SMT 58-28 S)
	CONCRETE PAVEMENT (TRUCK COURT) - 8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED VIRGIN LIMESTONE) - 8" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH 6x6x6 GAUGE STEEL MESH)
	CONCRETE SIDEWALK - 4" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 5" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH 6x6 WELDED WIRE FABRIC PER AG 315-92)
	4" SOLID WHITE STRIPE
	4" DIAGONAL AT 45° SPACED 2' O.C.
	ADA PARKING STALL SIGNAGE (SEE DETAIL)
	18" CURB & GUTTER (SEE DETAIL)
	18" REVERSE CURB & GUTTER (SEE DETAIL)
	TAPER CURB HEAD (SEE DETAIL)
	BUILDING DOOR SLAB (2% MAX SLOPE WITHIN 5-FT OF DRIVE IN OR MAN DOOR)
	ADA STALL INSIGNIA
	ADA CURB RAMP (SEE DETAIL)
	STEEL STAIRS (SEE ARCHITECTURAL PLANS)
	BOLLARD (SEE DETAIL)
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	MAN DOOR
	OVERHEAD DOOR

ALL WORK WITHIN PUBLIC R.O.W. SHALL CONFORM TO VILLAGE OF GERMANTOWN STANDARDS.

SITE DATA	
SITE AREA:	2,435,001 S.F./55.90 AC
ZONING CLASSIFICATION:	M2
BUILDING FOOTPRINT AREA:	233,327 S.F./5.36 AC/9.6%
PAVING AREA:	316,637 S.F./7.27 AC/13.0%
GREEN SPACES:	1,885,037 S.F./43.27 AC/77.4%
PARKING PROVIDED (9'x20')	240 (8 ADA)

PLAN | DESIGN | DELIVER
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PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE: 20725 WATERTOWN ROAD, SUITE 100, BROOKFIELD, WI 53180 (262) 754-8888
CHICAGO (MILWAUKEE) OFFICE: NATIONSWIDE

ZILBER
PROPERTY GROUP SM

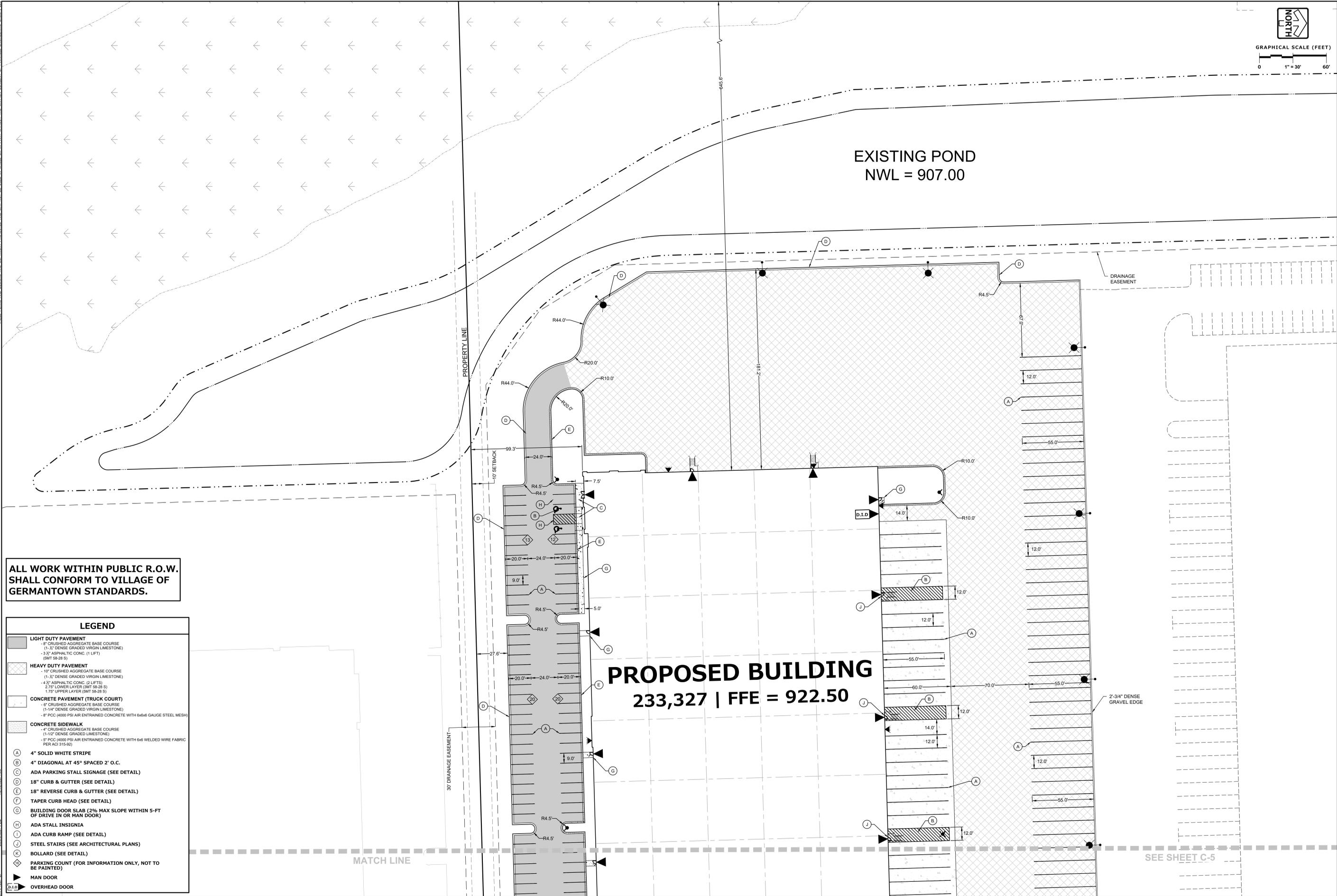
ZILBER INDUSTRIAL 5 AT GERMANTOWN GATEWAY CORPORATE PARK GERMANTOWN, WI

SITE DIMENSION & PAVING PLAN OVERVIEW

REVISIONS	
1	MUNICIPAL SUBMITTAL 01/06/22

REG. JOB No. 1296.00E
REG. JOB No. 1296.00E
START DATE 03/04/19
SCALE 1" = 60'

SHEET C-3 of C-17



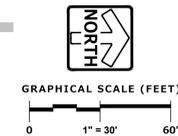
ALL WORK WITHIN PUBLIC R.O.W. SHALL CONFORM TO VILLAGE OF GERMANTOWN STANDARDS.

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	4" SOLID WHITE STRIPE
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	STEEL STAIRS (SEE ARCHITECTURAL PLANS)
	BOLLARD (SEE DETAIL)
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	MAN DOOR
	OVERHEAD DOOR

REVISIONS	
1	MUNICIPAL SUBMITTAL 01/06/22

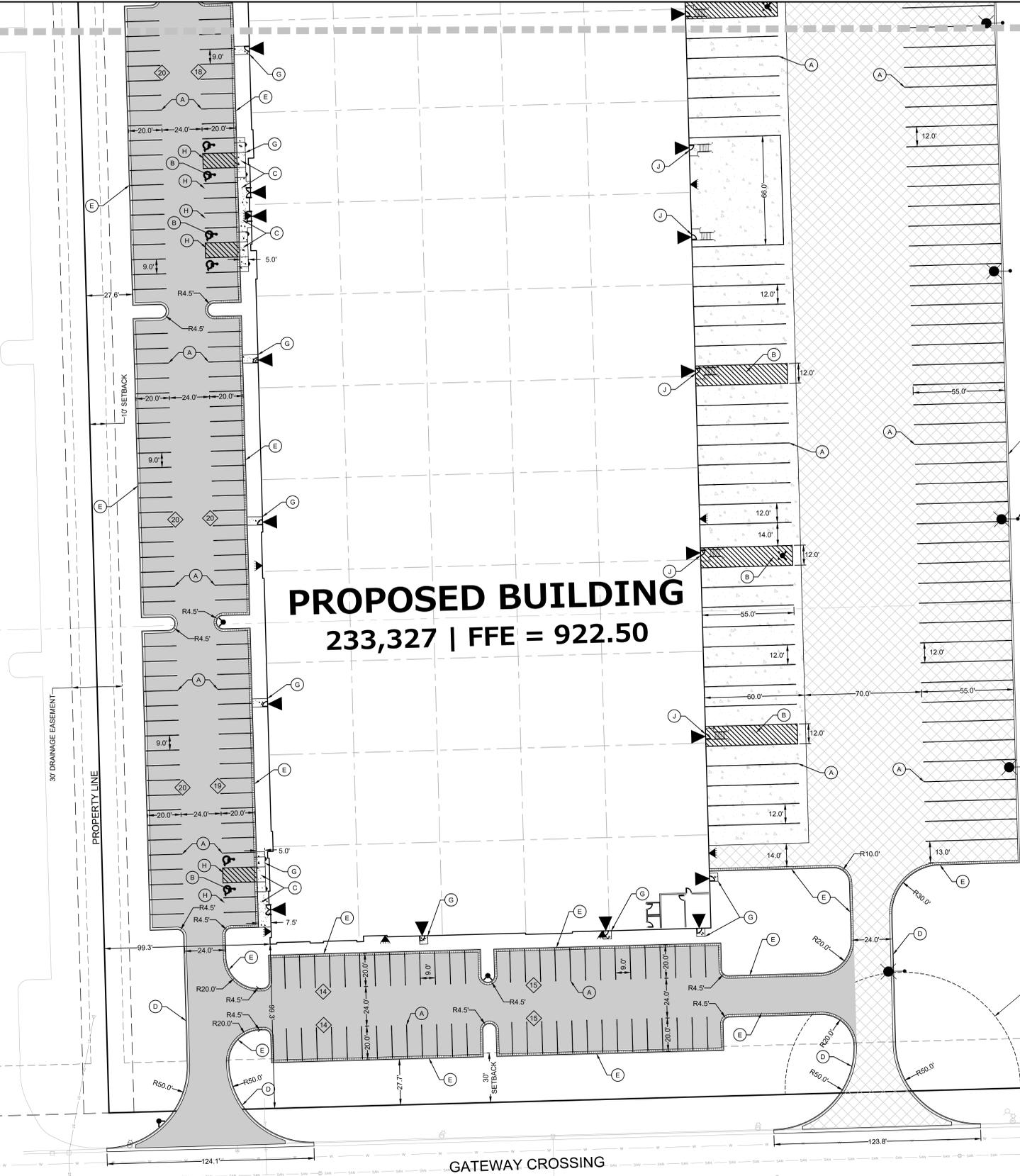
MATCH LINE

SEE SHEET C-4



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PROPOSED BUILDING
 233,327 | FFE = 922.50

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	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	MAN DOOR
	OVERHEAD DOOR

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CHICAGO (MILWAUKEE) | NATIONWIDE

ZILBER
PROPERTY GROUP SM

ZILBER INDUSTRIAL 5 AT GERMANTOWN
GATEWAY CORPORATE PARK
GERMANTOWN, WI

SITE DIMENSION & PAVING PLAN

REVISIONS	
1	MUNICIPAL SUBMITTAL 01/06/22

REG. JOB NO. 1296.00E
REG. NO. AJS
START DATE 03/04/19
SCALE 1" = 30'

SHEET
C-5
of
C-17

SITE DIMENSION & PAVING PLAN

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 DESIGNED: EP
 CHECKED: PEM
 REVIEWED: AS

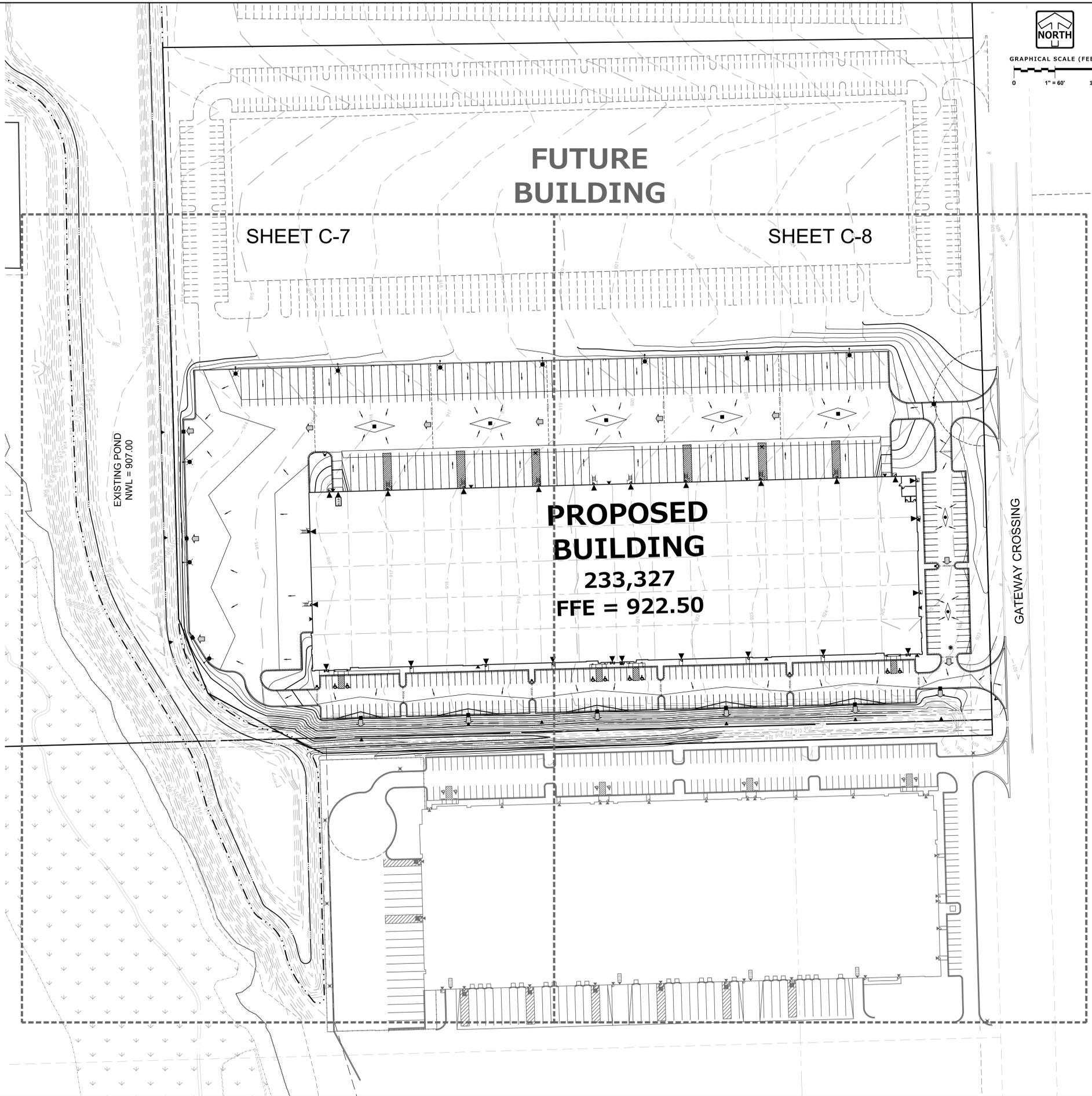
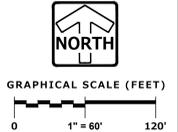
GRADING NOTES

- CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO PINNACLE ENGINEERING GROUP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
- SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE CURB AND GUTTER FLOWLINE UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
 CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE PEG ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
 THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
- GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO AVOID PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
- IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
- WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL, OR THE MAXIMUM COMPACTION LIFT DEPTH.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
- THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
- CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
- CONTRACTOR SHALL COMPLY WITH ALL VILLAGE OF GERMANTOWN CONSTRUCTION STANDARDS/ORDINANCES.
- LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT.
- TOPSOIL BERMING SHALL ACHIEVE 90% STANDARD PROCTOR DENSITY AT 3%(±) OPTIMUM MOISTURE CONTENT.
- SURVEY BENCHMARKS AND MAPPING HAS BEEN PROVIDED BY PINNACLE ENGINEERING GROUP. IN NO WAY DOES PEG WARRANT THE BASEMAP IS ALL INCLUSIVE OR REPRESENTATIVE OF ACTUAL CONDITIONS. CONTRACTOR SHALL PROVIDE CHECKS AS NECESSARY TO VERIFY THE BASEMAP CENTER AND ACCURACY.

LEGEND

-  SANITARY MANHOLE
-  STORM CATCH BASIN
-  CURB CATCH BASIN
-  CONTOUR
-  SPOT ELEVATION
-  DIRECTION OF SURFACE FLOW
-  DITCH OR SWALE
-  FLOODPLAIN
-  OVERFLOW RELIEF ROUTING
-  CONCRETE SIDEWALK
-  CURB AND GUTTER
-  REVERSE PITCH CURB & GUTTER

ALL WORK WITHIN PUBLIC R.O.W. SHALL CONFORM TO VILLAGE OF GERMANTOWN STANDARDS.




PINNACLE ENGINEERING GROUP
 ENGINEERING | NATURAL RESOURCES | SURVEYING
 WISCONSIN OFFICE: 20725 WATERTOWN ROAD, SUITE 100, BROOKFIELD, WI 53005, (262) 754-8888
 CHICAGO (MILWAUKEE) | NATIONWIDE


ZILBER
 PROPERTY GROUP SM

ZILBER INDUSTRIAL 5 AT GERMANTOWN
GATEWAY CORPORATE PARK
 GERMANTOWN, WI

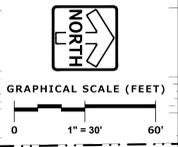
SITE GRADING PLAN OVERVIEW

REVISIONS	
1	MUNICIPAL SUBMITTAL 01/06/22

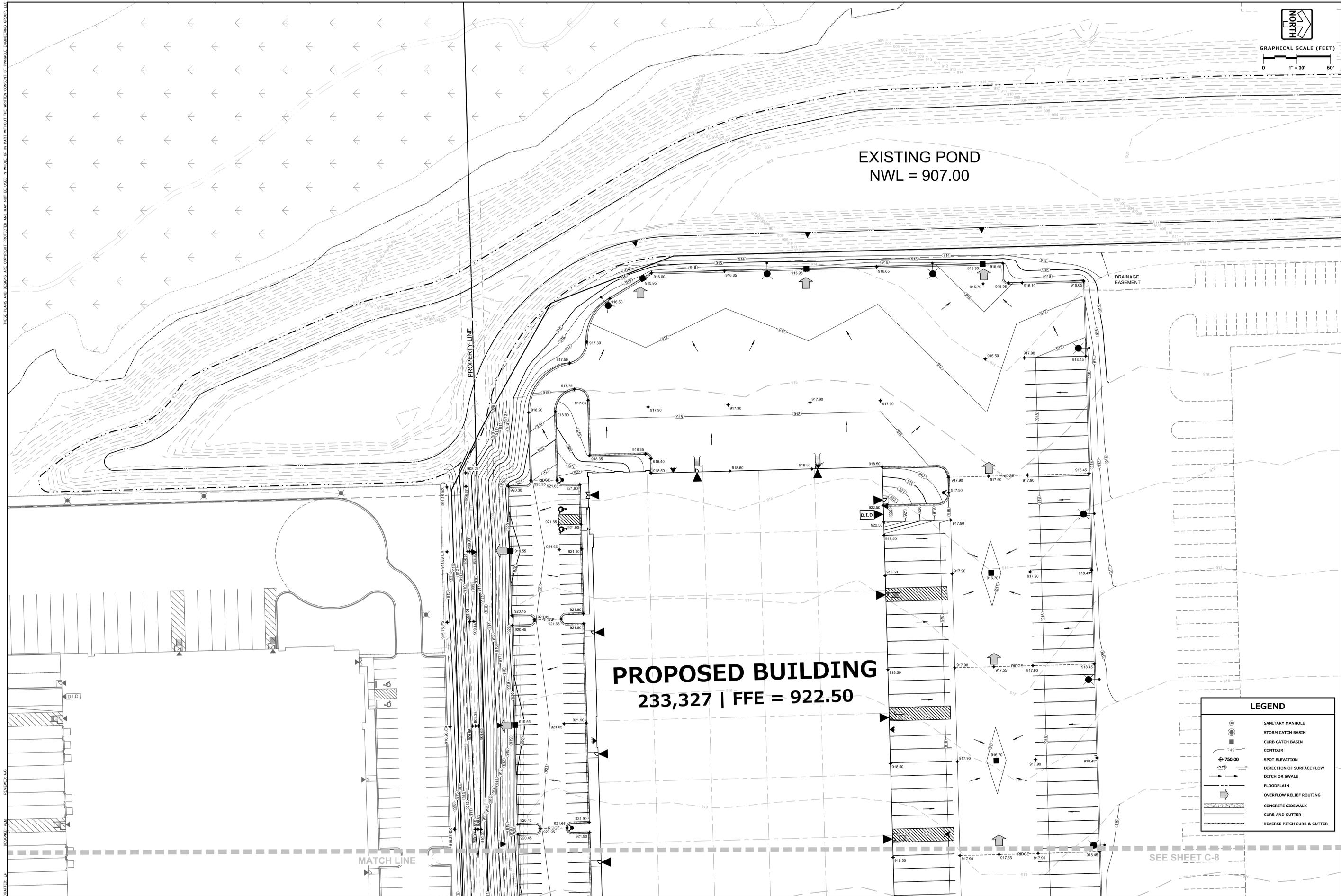
REG. JOB No. 1296.00E
 REG. No. AJS
 START DATE 03/04/19
 SCALE 1" = 60'
SHEET C-6 of C-17

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DESIGNED: PFM
CHECKED: PFM
CREATED: EP



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LEGEND	
	SANITARY MANHOLE
	STORM CATCH BASIN
	CURB CATCH BASIN
	CONTOUR
	SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	DITCH OR SWALE
	FLOODPLAIN
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	CURB AND GUTTER
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ZILBER
PROPERTY GROUP SM

ZILBER INDUSTRIAL 5 AT GERMANTOWN
GATEWAY CORPORATE PARK
GERMANTOWN, WI

SITE GRADING PLAN

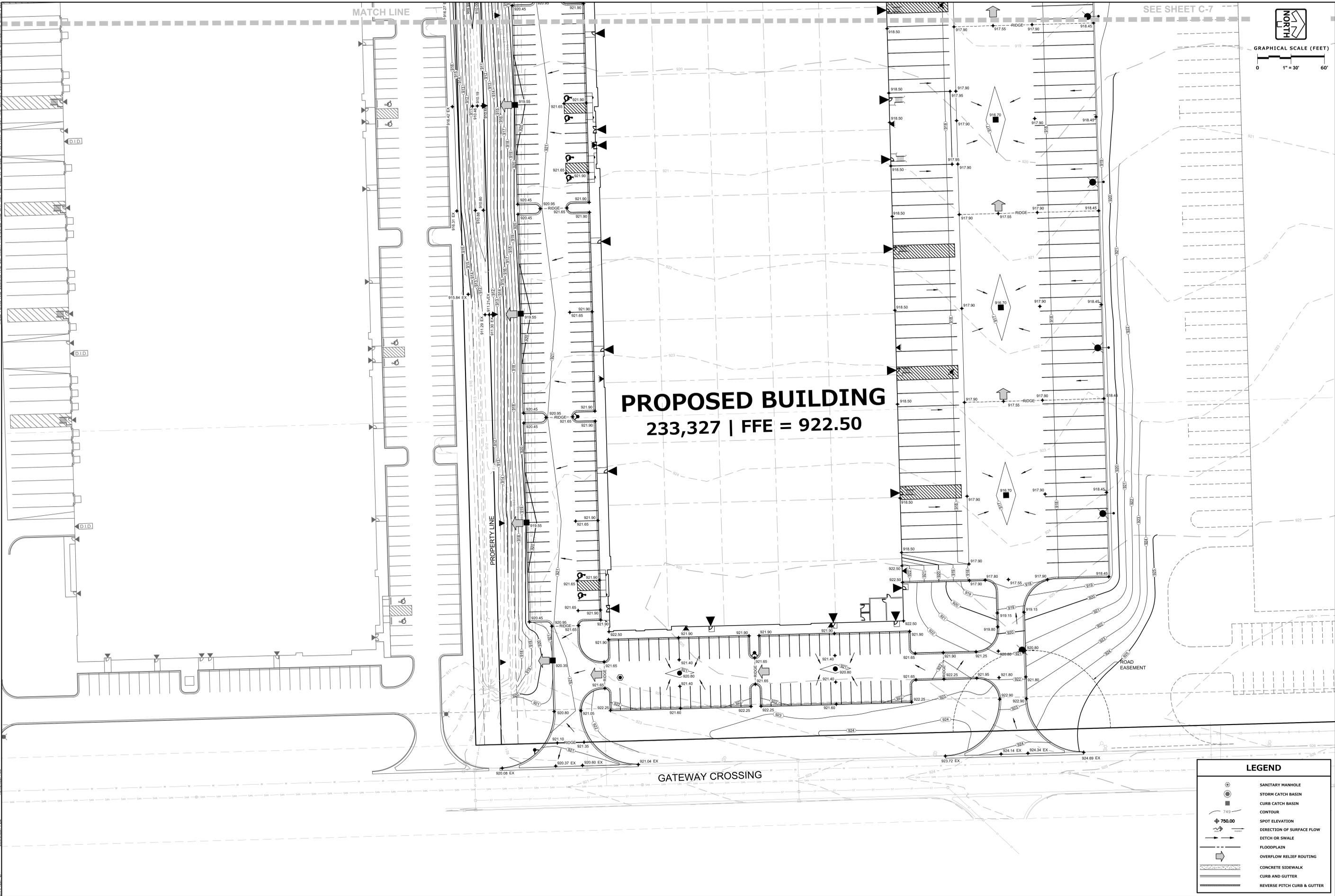
REVISIONS	
1	MUNICIPAL SUBMITTAL 01/06/22

REG. JOB NO. 1296.00E
REG. NO. AJS
START DATE 03/04/19
SCALE 1" = 30'

SHEET
C-7
of
C-17

SITE GRADING PLAN

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MATCH LINE

SEE SHEET C-7



GRAPHICAL SCALE (FEET)
0 1" = 30' 60'

PROPOSED BUILDING
233,327 | FFE = 922.50

PROPERTY LINE

GATEWAY CROSSING

ROAD EASEMENT

LEGEND

-  SANITARY MANHOLE
-  STORM CATCH BASIN
-  CURB CATCH BASIN
-  CONTOUR
-  SPOT ELEVATION
-  DIRECTION OF SURFACE FLOW
-  DITCH OR SWALE
-  FLOODPLAIN
-  OVERFLOW RELIEF ROUTING
-  CONCRETE SIDEWALK
-  CURB AND GUTTER
-  REVERSE PITCH CURB & GUTTER

PLAN | DESIGN | DELIVER
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ENGINEERING | NATURAL RESOURCES | SURVEYING

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BROOKFIELD, WI 53166
(262) 754-8888
CHICAGO (MILWAUKEE) | NATIONWIDE

ZILBER
PROPERTY GROUP SM

ZILBER INDUSTRIAL 5 AT GERMANTOWN
GATEWAY CORPORATE PARK
GERMANTOWN, WI

SITE GRADING PLAN

REVISIONS	
1	MUNICIPAL SUBMITTAL 01/06/22

REG. JOB NO. 1296.00E
REG. NO. AJS
START DATE 03/04/19
SCALE 1" = 30'

SHEET
C-8
of
C-17

UTILITY NOTES

- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF GERMANTOWN SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES SPS 382.
- LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
- ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
- THE CONTRACTOR SHALL CONTACT THE VILLAGE OF GERMANTOWN PUBLIC WORKS DEPARTMENT 48-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
- ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
- FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
- STORM SEWER SPECIFICATIONS -
 - PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. STRENGTH CLASSIFICATIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

HEIGHT OF COVER (FEET):	0-2	2-3	3-6	6-15	15-25	25+
MINIMUM CONCRETE PIPE CLASSIFICATION:	IV	III	II	III	IV	ENGINEER TO SPECIFY
 - HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S", OR POLYVINYL CHLORIDE (PVC) - CLASS PS46 MEETING AASHTO M278, AS NOTED. IF HDPE PIPE IS USED FOR POINTS AND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
 - INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-2" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R-2502 WITH TYPE D GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3067, OR EQUAL. THE SUMP DEPTH (VERTICAL DISTANCE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE PIPE) SHALL BE 18" MIN. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
 - BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. SLURRY BACK FILL UNDER PUBLIC ROAD PAVEMENT. SLURRY LIMITS: FROM TOP OF COVER STONE TO PAVEMENT. SLURRY TO BE 1-BAG PORTLAND MIX. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
 - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1661 W/ NEENAH R-1660-0003 ROCKING COVER W/ 2 PICK HOLES AND 8 VENT HOLES
- WATER MAIN SPECIFICATIONS -
 - PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 35, DR-15, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
 - HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS". THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 24-INCHES. HYDRANT MANUFACTURE: KENNEDY GUARDIAN. HYDRANT AND TAP VALVES: TRAFFIC MODEL W/ BREAKAWAY FLANGES, TWO 2-1/2" HOSE NOZZLES (7-1/2" NST) AND ONE 5-1/4" PUMPER OR TEACHER NOZZLE (4" NST), A 1-1/2" PENTAGON OPERATING NUT AND CCW OPENING, 6" MECHANICAL JOINT INLET CONNECTION.
 - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. SLURRY BACK FILL UNDER PUBLIC ROAD PAVEMENT. SLURRY LIMITS: FROM TOP OF COVER STONE TO PAVEMENT. SLURRY TO BE 1-BAG PORTLAND MIX. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
- SANITARY SEWER SPECIFICATIONS -
 - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
 - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". SLURRY BACK FILL UNDER PUBLIC ROAD PAVEMENT. SLURRY LIMITS: FROM TOP OF COVER STONE TO PAVEMENT. SLURRY TO BE 1-BAG PORTLAND MIX. GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
 - MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE VILLAGE OF GERMANTOWN. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
 - MANHOLE FRAMES AND COVERS - NEENAH R-1661 FRAME W/ SOLID GASKETED LID AND 2 CONCEALED PICK HOLES. CONFORM TO STANDARD SPECIFICATIONS CH. 3.5.0
- WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
- TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES. TRACER WIRE: COPPERHEAD TRACERWIRE #10 SOLID CCS SUPERFLEX (BLUE). WIRE CONNECTORS SHALL BE SNAKEBITE (BLUE) MADE BY COPPERHEAD INDUSTRIES, LLC. THE TRACER WIRE FOR THE SANITARY SEWER LATERAL SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.
- SEE UTILITY PLANS AND CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

LOOP AND FIRE DEPARTMENT CONNECTION SHOWN FOR CONCEPTUAL HYDRANT SPACING ONLY. THIS PLAN SHALL NOT BE USED FOR FIRE PROTECTION SYSTEM AND SYSTEM CONSTRUCTION. FINAL DESIGN AND SIZING SHALL BE BY FIRE PROTECTION ENGINEER.

CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED UTILITIES.

ALL UNDERGROUND WATER UTILITY WORK SHALL CONFORM TO VILLAGE OF GERMANTOWN STANDARDS.

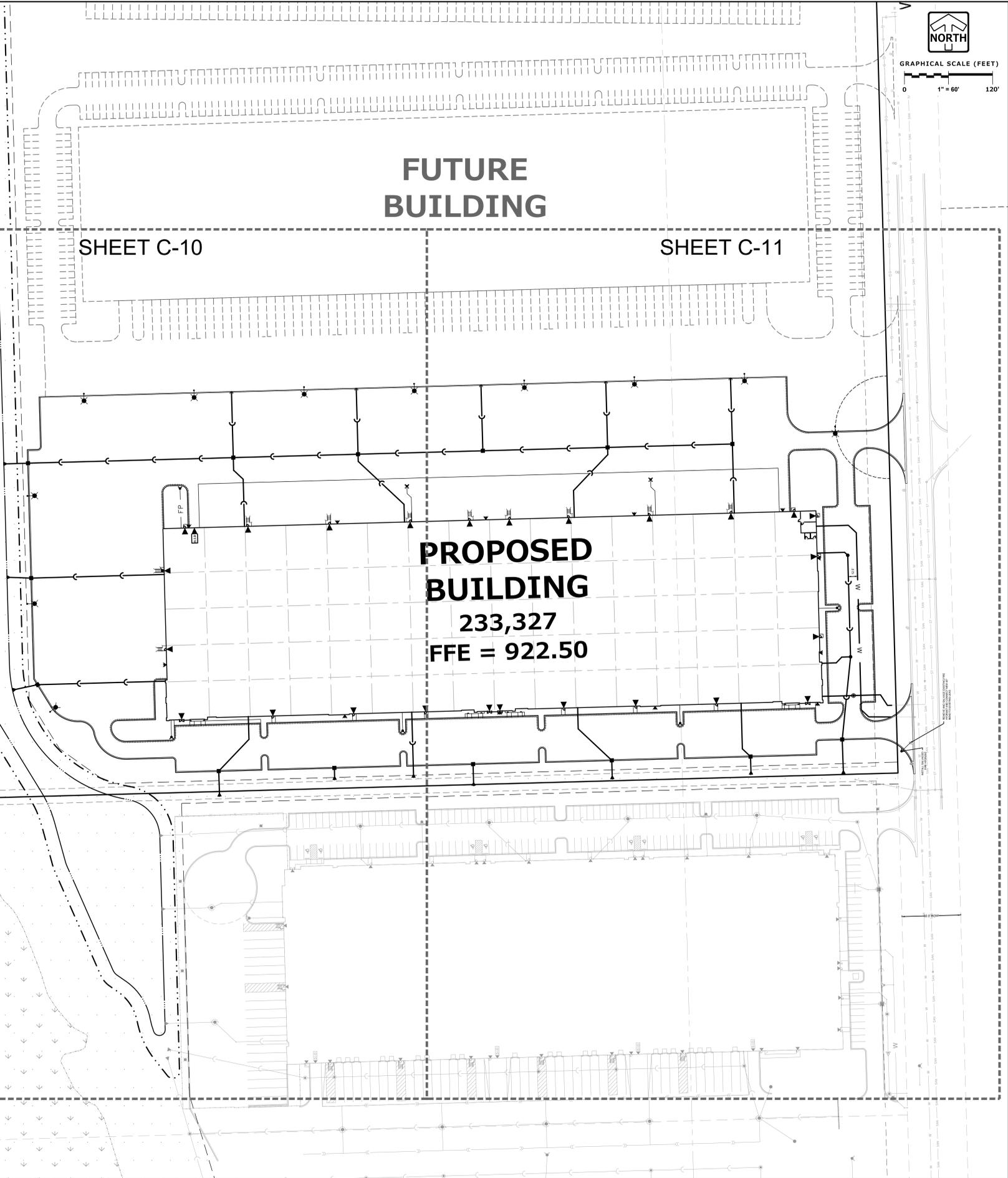
ALL PRIVATE HYDRANTS SHALL BE PAINTED YELLOW PER VILLAGE OF GERMANTOWN STANDARDS.

ALL PRIVATE HYDRANTS LEADS FROM THE BUILDING MUST RUN THROUGH A WATER METER AND WILL BE ADDED AS "PRIVATE HYDRANTS" ON THE VILLAGE GIS

ALL WORK WITHIN PUBLIC R.O.W. SHALL CONFORM TO VILLAGE OF GERMANTOWN STANDARDS.

LEGEND

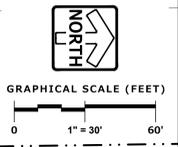
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST CONCRETE FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	SANITARY SEWER
	STORM SEWER
	DRAIN TILE



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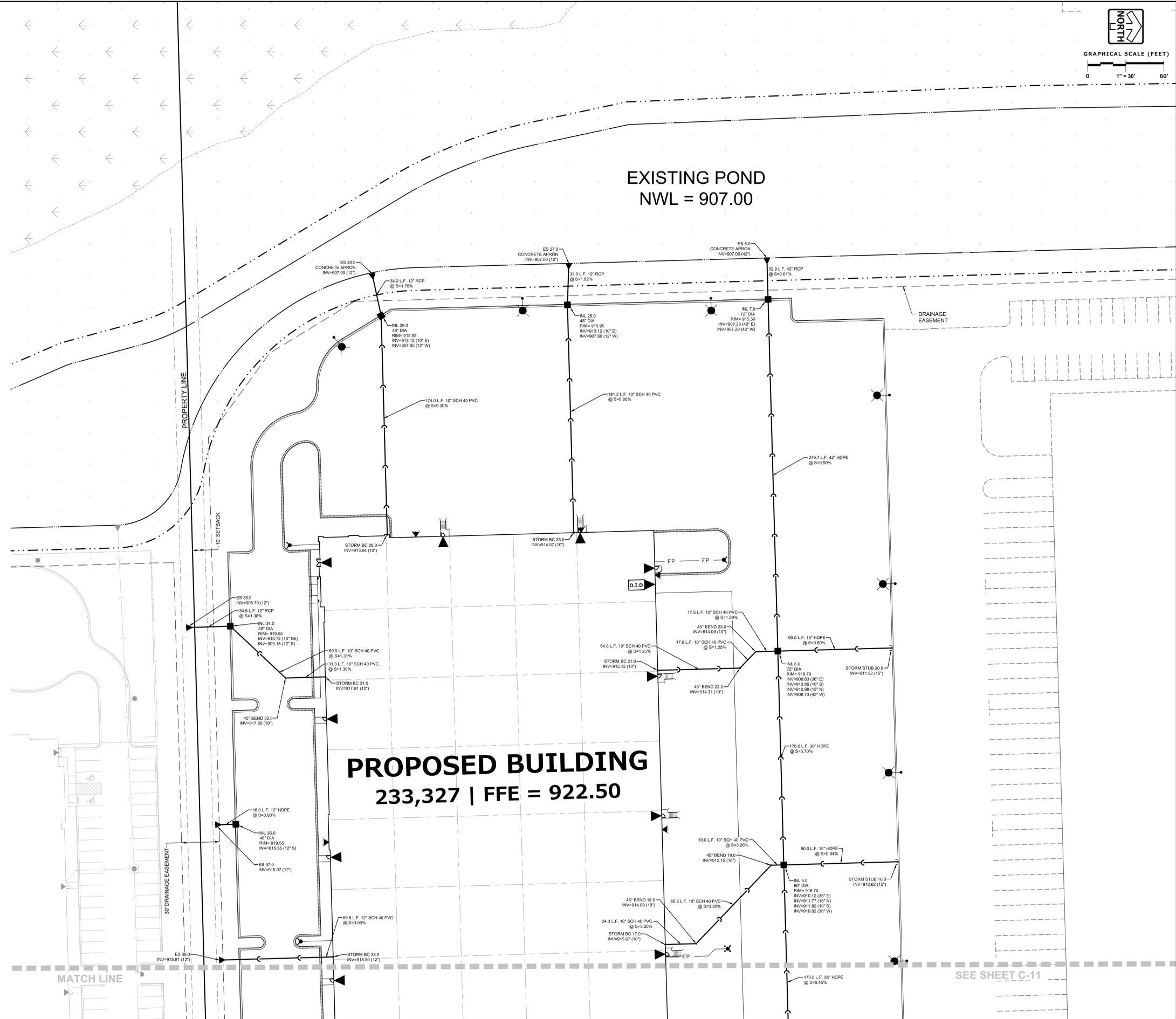
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 PROPERTY GROUP SM
ZILBER INDUSTRIAL 5 AT GERMANTOWN GATEWAY CORPORATE PARK GERMANTOWN, WI

UTILITY PLAN

REVISIONS	
1	MUNICIPAL SUBMITTAL 01/06/22

SHEET C-10 of C-17
 PROJECT NO. 1296.00E
 DATE 03/04/19
 SCALE 1" = 30'

UTILITY PLAN

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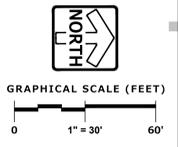
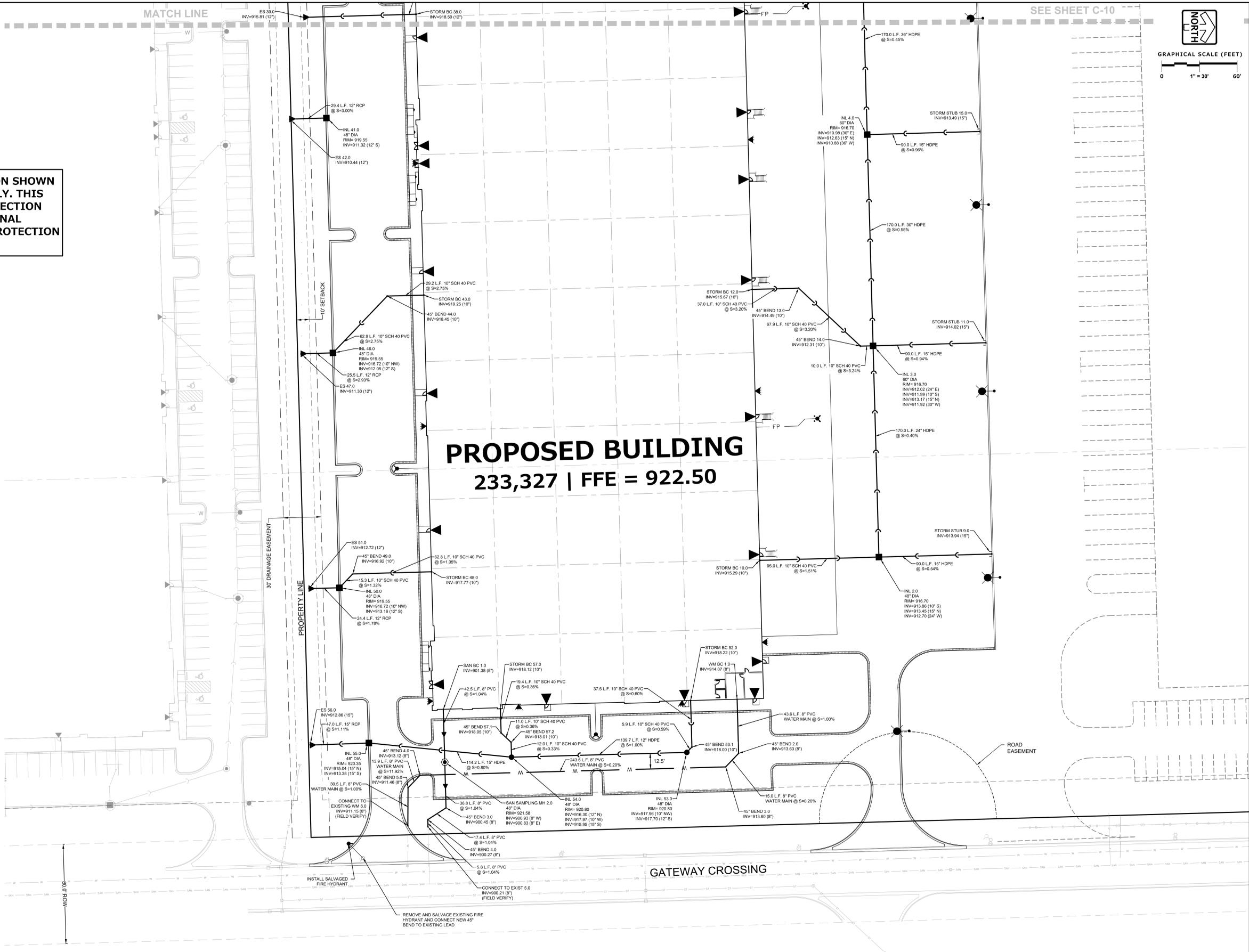
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UTILITY PLAN

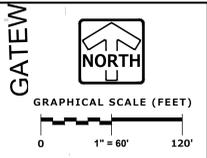
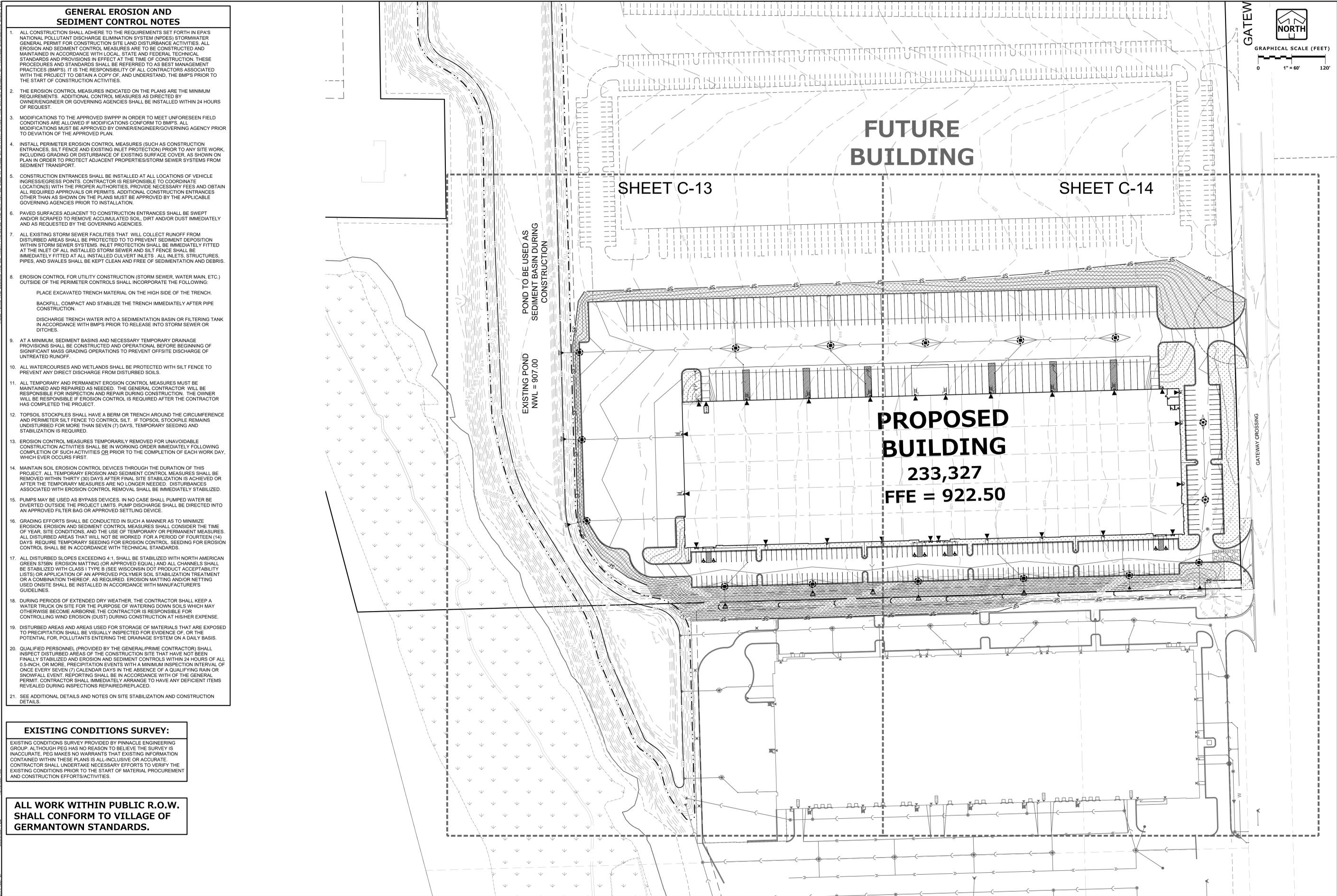
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- ### GENERAL EROSION AND SEDIMENT CONTROL NOTES
1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
 2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
 3. MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
 4. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
 5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATIONS WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
 6. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
 7. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
 8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
 9. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
 10. ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.
 11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
 12. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
 13. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST.
 14. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
 15. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
 16. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
 17. ALL DISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN STEEL EROSION MATTING (OR APPROVED EQUIV) AND ALL CHANNELS SHALL BE STABILIZED WITH CLASS I (TYPE B) (SEE WISCONSIN DOT PRODUCT ACCEPTABILITY LISTS) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ON SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
 18. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
 19. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
 20. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH OF THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
 21. SEE ADDITIONAL DETAILS AND NOTES ON SITE STABILIZATION AND CONSTRUCTION DETAILS.

EXISTING CONDITIONS SURVEY:
 EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

ALL WORK WITHIN PUBLIC R.O.W. SHALL CONFORM TO VILLAGE OF GERMANTOWN STANDARDS.



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CHICAGO (FIRM) OFFICE: NATIONWIDE

ZILBER
PROPERTY GROUP SM

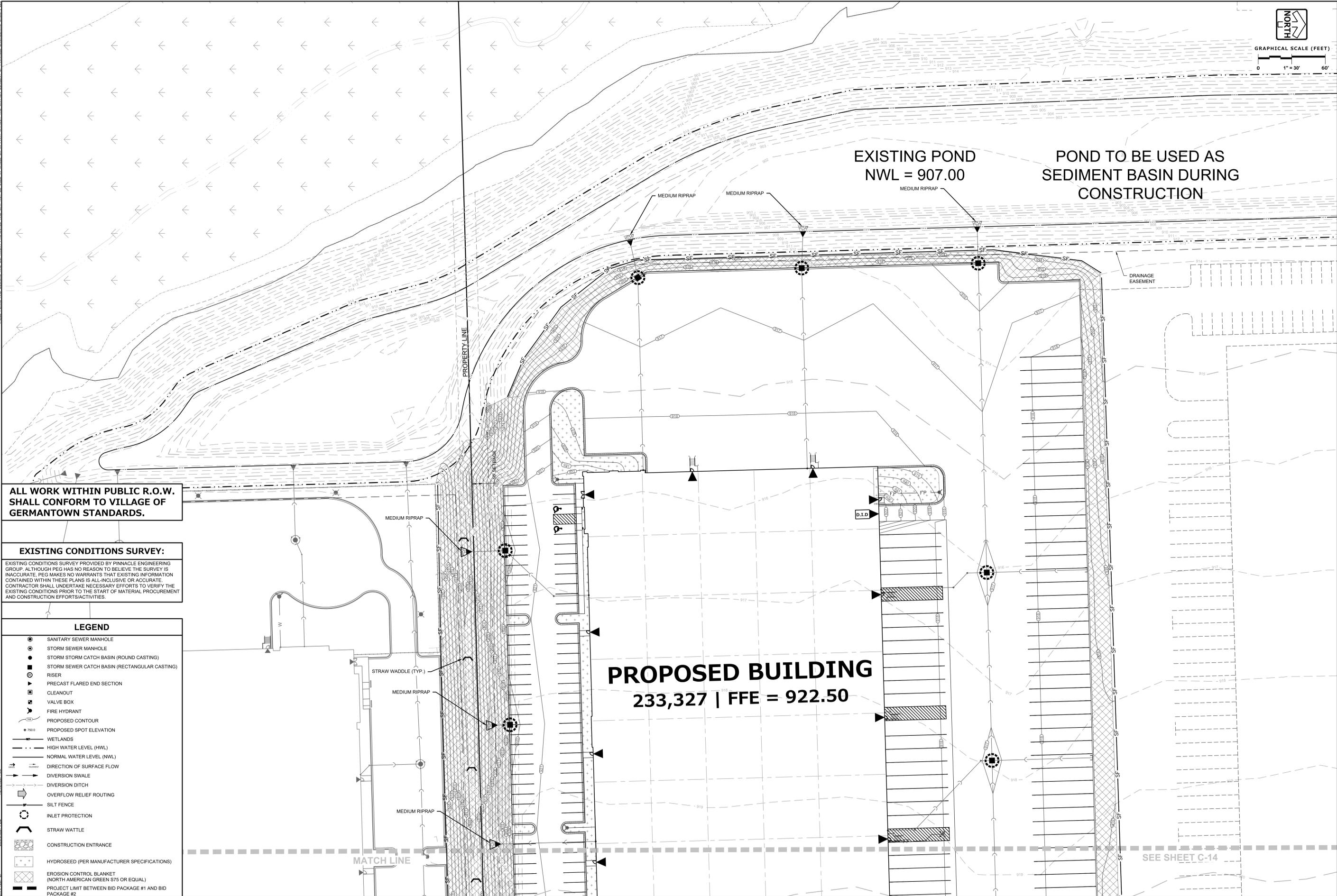
ZILBER INDUSTRIAL 5 AT GERMANTOWN
GATEWAY CORPORATE PARK
GERMANTOWN, WI

SITE STABILIZATION PLAN OVERVIEW

REVISIONS	
1. MUNICIPAL SUBMITTAL	01/06/22

REG. JOB No. 1296.00E
 REG. No. A15
 START DATE 03/04/19
 SCALE 1" = 60'

SHEET
C-12
 of
C-17



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LEGEND

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM STORM CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- RISER
- PRECAST FLARED END SECTION
- CLEANOUT
- VALVE BOX
- FIRE HYDRANT
- PROPOSED CONTOUR
- + 750.0 PROPOSED SPOT ELEVATION
- WETLANDS
- HIGH WATER LEVEL (HWL)
- NORMAL WATER LEVEL (NWL)
- DIRECTION OF SURFACE FLOW
- DIVERSION SWALE
- DIVERSION DITCH
- OVERFLOW RELIEF ROUTING
- SILT FENCE
- INLET PROTECTION
- STRAW WATTLE
- CONSTRUCTION ENTRANCE
- HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
- EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75 OR EQUAL)
- PROJECT LIMIT BETWEEN BID PACKAGE #1 AND BID PACKAGE #2

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ZILBER
PROPERTY GROUP SM

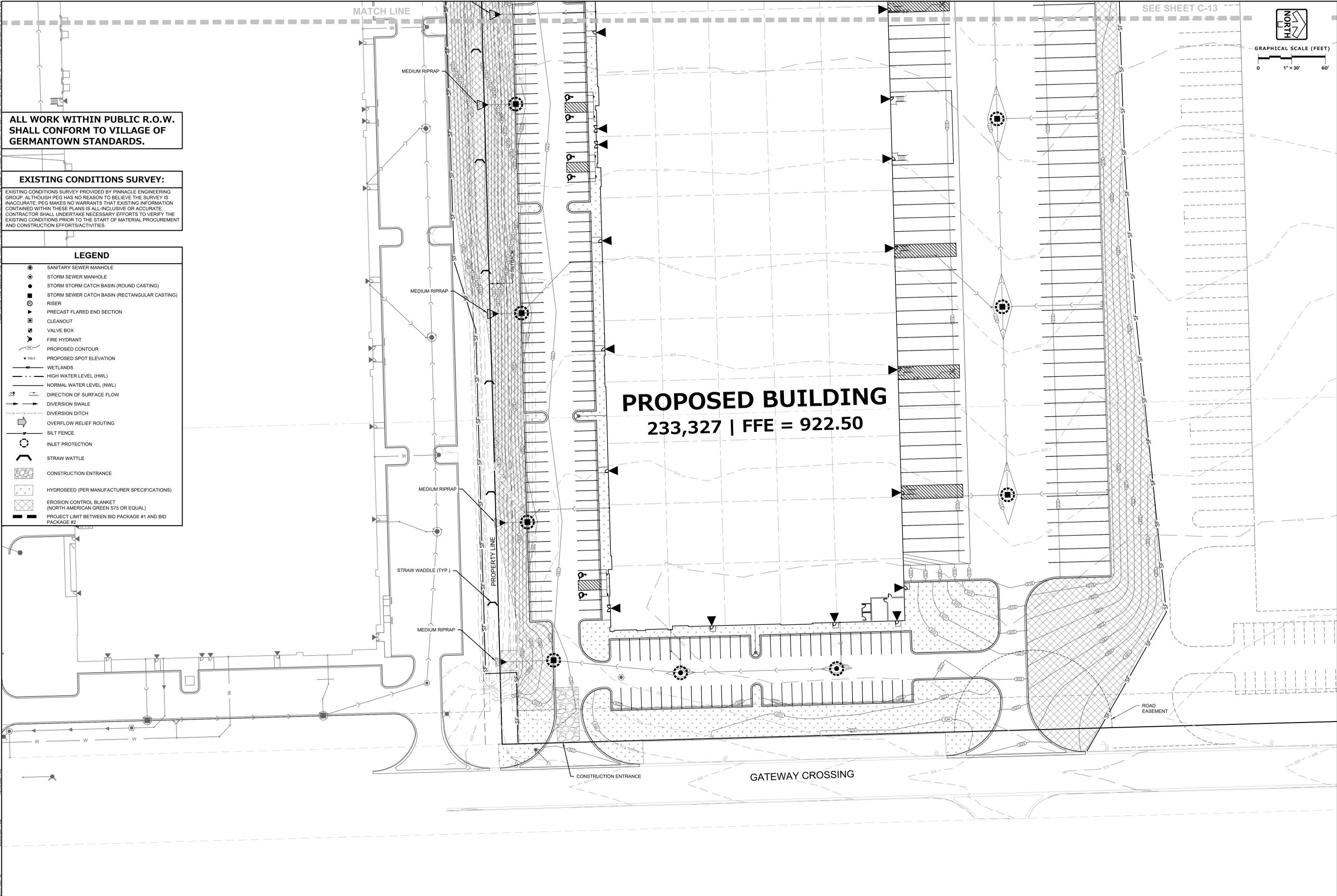
ZILBER INDUSTRIAL 5 AT GERMANTOWN GATEWAY CORPORATE PARK GERMANTOWN, WI

SITE STABILIZATION PLAN

REVISIONS

NO.	DESCRIPTION	DATE
1	MUNICIPAL SUBMITTAL	01/06/22

REG. JOB NO. 1296.00E
REG. NO. AJS
START DATE 03/04/19
SCALE 1" = 30'

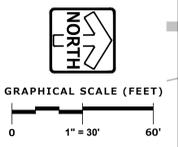


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- LEGEND**
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 DESIGNED: EP
 CHECKED: PEM
 REVIEWED: AJS

SEE SHEET C-13
 www.pinnacle-engr.com
 SHEET C-14 of C-17
 SITE STABILIZATION PLAN

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<p>REG. JOB NO. 1296.00E REG. NO. AJS START DATE 03/04/19 SCALE 1" = 30'</p>		<p>SHEET C-14 of C-17</p>											

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1.0 POTENTIAL POLLUTANT SOURCES

GIVEN THE PROPOSED ACTIVITY ON THE PROJECT SITE, THE PRIMARY POTENTIAL POLLUTANT SOURCE ASSOCIATED WITH THIS CONSTRUCTION PROJECT IS SOIL EROSION AND TRANSPORTATION. REFER TO SECTION 4 OF THIS PLAN. ADDITIONAL POTENTIAL SOURCES OF POLLUTION MAY INCLUDE: FUELS, TANKS, WASTE CONTAINERS, OIL OR OTHER PETROLEUM PRODUCTS, DETERGENTS, PAINTS, CONSTRUCTION DEBRIS, SANITARY STATIONS, FERTILIZERS, AND DUST. REFER TO SECTION 5 OF THIS PLAN.

2.0 EROSION AND SEDIMENT CONTROL IMPLEMENTATION

THE FOLLOWING ARE DESCRIPTIONS OF THE EROSION AND SEDIMENT CONTROL PRACTICES THAT SHALL BE IMPLEMENTED DURING CONSTRUCTION OF THIS PROJECT. IN ADDITION TO THESE MEASURES, CONTRACTOR SHALL DISTURB ONLY AREAS NECESSARY TO COMPLETE THE CONSTRUCTION PROJECT. ALL PRACTICES SHALL BE CONDUCTED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES (BMP).

2.1 CONSTRUCTION AND EROSION CONTROL SEQUENCING

CONSTRUCTION SEQUENCING WILL BE UTILIZED AS A MEANS OF CONTROLLING EROSION AND LIMITING SEDIMENT TRANSPORT. SEQUENCING AS LISTED BELOW IS GENERAL IN NATURE AND MAY VARY DEPENDING ON WEATHER CONDITIONS AND/OR PHASING OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A DETAILED SITE SEQUENCING PLAN TO OWNER FOR APPROVAL AT LEAST 5 BUSINESS DAYS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 4 AS NEEDED TO COMPLETE CONSTRUCTION ONLY IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL REQUIREMENTS.

- INSTALL TEMPORARY CONSTRUCTION ENTRANCES, INLET PROTECTION ON EXISTING STORM SEWER AND CULVERT INLET LOCATIONS SEDIMENT TRAPS, DIVERSION BERMS, DITCH CHECKS, AND PERIMETER SILT FENCING.
- INSTALL SILT FENCING ALONG THE PERIMETER OF PROPOSED TOPSOIL STOCKPILE LOCATIONS. THE FIRST TOPSOIL DEPOSITED WITHIN THE STOCKPILE LIMITS SHALL BE PLACED TO CREATE TEMPORARY BERMS ALONG THE SILT FENCE TO PREVENT DIRECT STORMWATER RUNOFF AGAINST SILT FENCING. CONTRACTOR SHALL LIMIT LAND DISTURBING ACTIVITIES ASSOCIATED WITH TEMPORARY BERMS TO A MINIMUM.
- CONDUCT ROUGH GRADING OPERATIONS AND UTILITY PIPING INSTALLATION, DRAIN TILE SHALL NOT BE INSTALLED UNTIL UPLAND AREAS CONTRIBUTING STORMWATER RUNOFF ARE STABILIZED. DITCH CHECKS SHALL BE INSTALLED WITHIN DRAINAGE DITCHES IMMEDIATELY FOLLOWING CREATION OF DITCHES AND INLET PROTECTION SHALL BE INSTALLED TO PROTECT ANY STORM SEWER OR CULVERTS THAT WILL FUNCTION DURING CONSTRUCTION.
- FINE GRADE SUB-GRADE SOILS WITHIN PAVEMENT AND BUILDING LIMITS. PLACE STONE BASE MATERIAL AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
- FINE GRADE REMAINING DISTURBED AREAS. PLACE SALVAGED TOPSOIL, EROSION BLANKETS/MATTING, AND SEED/MULCH AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
- EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF SILT FENCE, TEMPORARY FENCING/PRETECTION, DITCH CHECKS, AND OTHER TEMPORARY CONTROLS, AND RESTORATION PRACTICES AS NECESSARY, TO THE SATISFACTION OF THE OWNER.

2.2 STABILIZATION PRACTICES

THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, SHALL BE RECORDED ON THE STABILIZATION SCHEDULE FOR MAJOR GRADING ACTIVITIES.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED UNLESS:

THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.

CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITIES CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS) IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. SEE THE SOIL PROTECTION CHART PRESENTED IN THE CONSTRUCTION DOCUMENTS FOR RATES OF PERMANENT AND TEMPORARY VEGETATION.

STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:

- PERMANENT SEEDING, IN ACCORDANCE WITH APPROVED LANDSCAPING PLAN
- TEMPORARY SEEDING MAY CONSIST OF SPRING OATS (100 LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150 LBS/ACRE)
- HYDRO-MULCHING WITH A TACKIFIER
- GEOTEXTILE EROSION MATTING
- SOODING

2.3 STRUCTURAL PRACTICES

THE FOLLOWING ARE DESCRIPTIONS OF STRUCTURAL PRACTICES TO BE IMPLEMENTED TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS, OR OTHERWISE LIMIT THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE INCLUDING THE PROPOSED AND EXISTING WETLAND AREAS. SUCH PRACTICES COULD INCLUDE SILT FENCE, PROTECTION FENCE, CONSTRUCTION ENTRANCE, DITCH CHECK, EROSION CONTROL MATTING, DIVERSION BERMS/WALE, SEDIMENT TRAP, LEVEL SPREADER, INLET PROTECTION, OUTLET PROTECTION, AND TEMPORARY OR PERMANENT SEDIMENT BASIN. THE FOLLOWING STRUCTURAL PRACTICES ARE TO BE UTILIZED DURING THIS PROJECT.

SILT FENCE SHALL BE PLACED DOWN SLOPE OF DISTURBED AREAS OF THE CONSTRUCTION SITE AND AROUND THE PERIMETER OF THE TOPSOIL STOCKPILE. THIS INCLUDES PROTECTION OF EXISTING WETLAND AREAS TO BE MAINTAINED. SILT FENCE MAY ALSO BE USED AS A TEMPORARY CONTROL DEVICE WHERE SEDIMENTATION RUNOFF IS DISCOVERED.

CONSTRUCTION ENTRANCE SHALL BE INSTALLED TO REDUCE SOIL EROSION POLLUTANTS FROM LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES. IF THE CRUSHED STONE DOES NOT ADEQUATELY REMOVE MUD FROM VEHICLE TIRES, THEY SHALL BE HOSED OFF BEFORE ENTERING A PAVED ROADWAY. ANY SOIL DEPOSITED ON THE PUBLIC PAVED ROAD WAY SHALL BE REMOVED IMMEDIATELY.

DITCH CHECK SHALL BE INSTALLED IN DRAINAGE CHANNELS AS NEEDED.

EROSION CONTROL MATTING SHALL BE PLACED ON AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 3H:1V, BEFORE VEGETATION IS ESTABLISHED.

INLET PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE INLETS TO REDUCE SEDIMENT WITHIN STORM SEWER CONVEYANCE FEATURES.

OUTLET SCOUR PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE OUTLETS TO DIFFUSE FLOWS.

3.0 ADDITIONAL PRACTICES

ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARPULIN TO PREVENT BLOWING DEBRIS.

DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

- COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
- ROUGHENING (EQUIPMENT TRACKING) THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.
- FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
- PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.

STREET SWEEPING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.

4.0 EROSION AND SEDIMENT STRUCTURAL PRACTICE MAINTENANCE

THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW.

SILT FENCE - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE FENCE.

CONSTRUCTION ENTRANCE - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.

DITCH CHECK - RE-SECURE STAKES; ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER; AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE BALE.

EROSION CONTROL MATTING - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND RE-GRADE SOIL WHERE CHANNELIZATION HAS OCCURRED.

INLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE ONE-HALF FULL OF SEDIMENT.

OUTLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC, TURF REINFORCEMENT MATTING AND/OR STONE WHEN CONTROL MEASURE IS ONE-HALF FULL OF SEDIMENT.

5.0 INSPECTION

INSPECTIONS SHALL BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS ONE-HALF INCH OR GREATER OR EQUIVALENT SNOWFALL OR AT A MINIMUM ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTIONS SHALL BE UNDERTAKEN BY QUALIFIED PERSONNEL PROVIDED BY THE CONTRACTOR AND SHALL INCLUDE: DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED; STRUCTURAL CONTROL MEASURES; AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT SHALL BE COMPLETED AND ADDED TO THE SWPPP. RAINFALL SHALL BE RECORDED ON THE SWPPP RAINFALL LOG. CONTRACTOR SHALL IMMEDIATELY ARRANGE FOR REPAIR OR REPLACEMENT OF ANY DAMAGED OR DEFICIENT CONTROL MEASURES OBSERVED DURING THE INSPECTION.

QUALIFIED PERSONNEL MEANS A PERSON KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS A LICENSED PROFESSIONAL ENGINEER, A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL, A CERTIFIED EROSION SEDIMENT OR STORMWATER INSPECTOR, OR OTHER TRAINED INDIVIDUAL.

6.0 SPILL PREVENTION

6.1 GENERAL MATERIAL MANAGEMENT PRACTICES

THE GOOD HOUSEKEEPING PRACTICES LISTED BELOW SHALL BE FOLLOWED THROUGHOUT THE CONSTRUCTION PROJECT.

- CONTRACTOR SHALL STORE ONLY ENOUGH PRODUCTS REQUIRED TO COMPLETE THIS PROJECT.
- ALL MATERIAL SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR ORIGINAL CONTAINERS CONTAINING MANUFACTURER'S LABEL.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
- MATERIALS REQUIRED TO HAVE A MATERIAL SAFETY DATA SHEET (MSDS) SHALL HAVE A COPY STORED IN THE PROJECTS MSDS DATABASE.

6.2 SPILL CONTROL PRACTICES

THE PRACTICES LISTED BELOW SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE MAINTAINED ONSITE.
- IMMEDIATELY UPON DISCOVERY, ALL SPILLS SHALL BE CLEANED UP ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS.
- PERSONNEL CLEANING UP A SPILL SHALL USE PERSONAL PROTECTIVE EQUIPMENT.
- IMMEDIATELY UPON DISCOVERY, SPILLS OF TOXIC OR HAZARDOUS MATERIALS SHALL BE REPORTED TO THE OWNER AND GENERAL CONTRACTOR.
- NOTIFICATION AND REPORTING TO THE APPROPRIATE FEDERAL, STATE, AND LOCAL GOVERNMENT AGENCIES SHALL BE MADE AS REQUIRED.

GENERAL INFORMATION:

THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED TO FULFILL ONE OF THE REQUIREMENTS OF THE GENERAL ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (WISCONSIN POLLUTION DISCHARGE ELIMINATION SYSTEM "WPDES") FOR THE DISCHARGE OF STORMWATER ASSOCIATED WITH CONSTRUCTION PROJECTS DISTURBING ONE ACRE OR MORE. THE OWNER AND CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF THE WPDES FOR ALL SUCH CONSTRUCTION PROJECTS. THE STORMWATER DISCHARGES ASSOCIATED WITH THE CONSTRUCTION ACTIVITY FROM THIS SITE ARE SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE PERMITS.

THE EXECUTED OWNER CERTIFICATION AND THE CONTRACTOR CERTIFICATIONS SHALL BE KEPT ONSITE WITH THE APPROVED PLANS.

SWPPP AVAILABILITY:

THE OWNER SHALL RETAIN A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF THE PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

KEEPING PLANS CURRENT:

THE CONTRACTOR SHALL AMEND THE PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY CONTROLLING POLLUTANTS IN STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE ACTIVITY. IN ADDITION, THE PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT A MEASURE OF THE PLAN. AMENDMENTS TO THE PLAN MAY BE REQUIRED BY THE MUNICIPALITY, OWNER, OR OTHER REVIEWING AGENCY. COPIES OF THE AMENDMENTS SHALL BE KEPT ONSITE AS PART OF THE SWPPP.

RETENTION OF RECORDS:

THE OWNER SHALL RETAIN COPIES OF THIS AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE PERMIT COVERAGE EXPIRES OR IS TERMINATED. THIS PERIOD MAY BE EXTENDED BY THE REQUEST OF THE AGENCY AT ANY TIME. IN ADDITION, THE OWNER SHALL RETAIN A COPY OF THE PLAN REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

A NOTICE OF INTENT (NOI) APPLICATION MUST BE COMPLETED AND INCORPORATED INTO THE SWPPP.

WPDES NOTICE OF TERMINATION GUIDANCE:

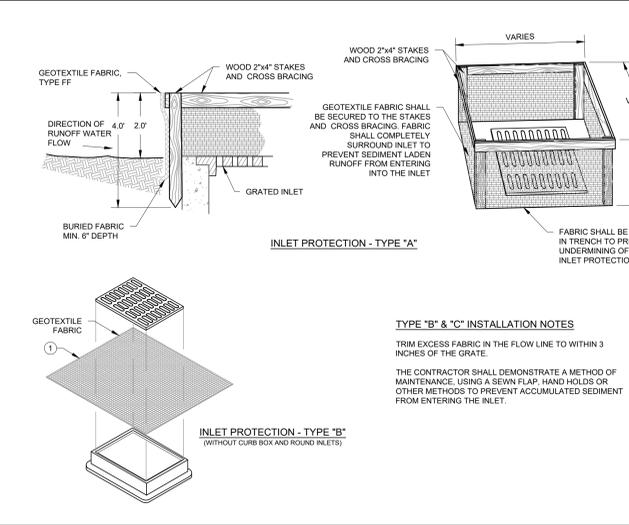
WHEN A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT ARE ELIMINATED, THE OWNER OF THE FACILITY MUST SUBMIT A COMPLETED NOTICE OF TERMINATION THAT IS SIGNED IN ACCORDANCE WITH THE PERMIT. CONTRACTOR SHALL SUBMIT A COMPLETED NOTICE OF TERMINATION TO OWNER FOR EXECUTION PRIOR TO THEIR FINAL PAY APPLICATION REQUEST.

CONTROL MEASURE GROUP	CONTROL MEASURE	CONTROL MEASURE CHARACTERISTICS
VEGETATIVE SOIL COVER	TEMPORARY SEEDING	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.
	PERMANENT SEEDING	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION. FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.
NON VEGETATIVE SOIL COVER	AGGREGATE COVER	PROVIDES TEMPORARY COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.
	PAVING	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.
DIVERSIONS	DIVERSION BERM / SWALE	DIVERTS RUNOFF TO A SEDIMENT TRAP OR OTHER CONTROL.
ENCLOSED DRAINAGE	STORM SEWER	CONVEYS SEDIMENT LADEN WATER TO A SEDIMENT BASIN.
OUTLETS	APRON ENDWALL OR RIPRAP	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURE.
SEDIMENT BASINS	TEMPORARY SEDIMENT TRAP	CONSTRUCTED TO REMOVE SILTATION FROM RUNOFF FROM SITE DIVERSION BERMS/SWALES AND IN OVERLAND FLOW ROUTE. CAN BE CONVERTED TO PERMANENT SEDIMENT BASIN.
	SILT FENCE	PLACED DOWN SLOPE OF DISTURBED AREA TO KEEP RUNOFF CONTAINED ONSITE.
	INLET PROTECTION	INSTALLED IN OPEN GRATE STRUCTURES TO COLLECT SEDIMENT.
	DITCH CHECK	PLACED IN DRAINAGE CHANNELS TO FILTER SEDIMENT FROM RUNOFF.
MUD AND DUST CONTROL	CONSTRUCTION ENTRANCE	REDUCES SOIL EROSION POLLUTANTS BEING TRANSPORTED OFF-SITE.
	STREET SWEEPING	REDUCES POLLUTANTS TRACKED FROM CONSTRUCTION SITE.
	DUST CONTROL	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.

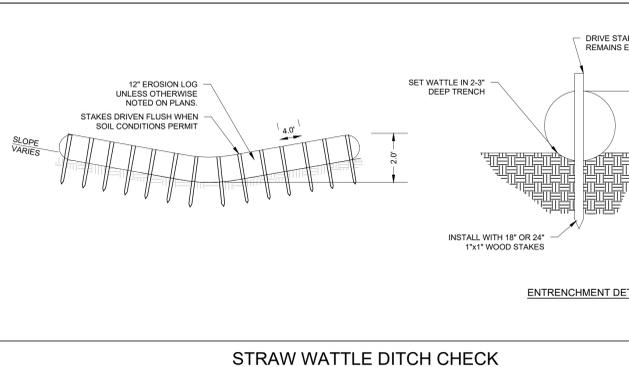
STABILIZATION EFFECTIVENESS (TIME OF YEAR)

STABILIZATION TYPE	STABILIZATION UTILIZATION PERIODS											
	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
PERMANENT SEEDING				A	*	*	*	*	*	*	*	*
DORMANT SEEDING	B											B
TEMPORARY SEEDING				C	*	*	*	*	*	*	*	*
SOODING				D	*	*	*	*	*	*	*	*

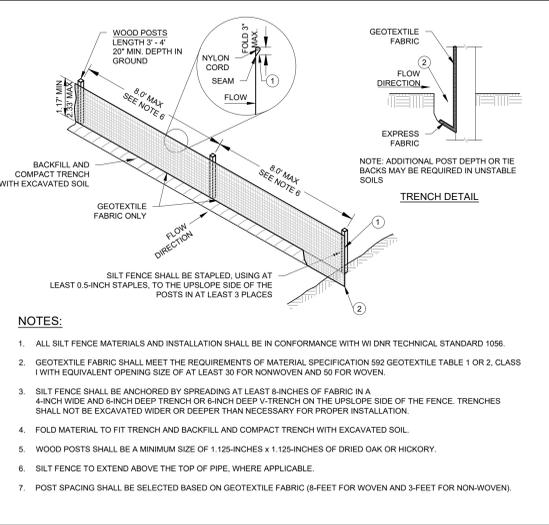
- A. KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE.
- B. KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
- C. SPRING OATS 100 LBS/ACRE.
- D. WHEAT OR CEREAL RYE 150 LBS/ACRE.
- E. SOU.
- F. STRAW MULCH 2 TONS/ACRE.
- * IRRIGATION/WATERING REQUIRED TO SUPPORT ESTABLISHMENT AS NEEDED.



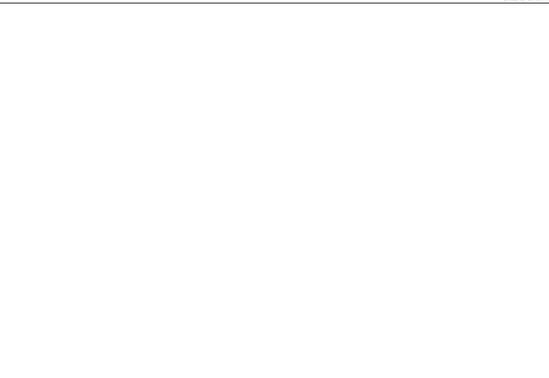
INLET PROTECTION



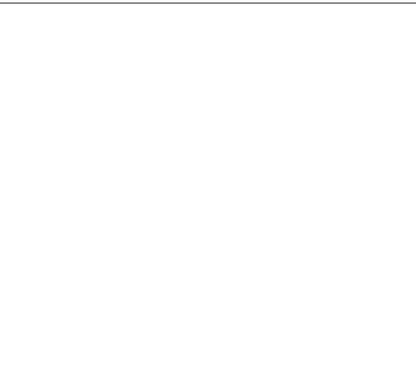
STRAW WATTLE DITCH CHECK



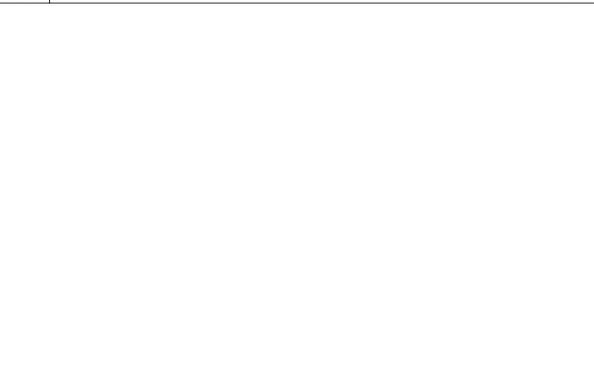
SILT FENCE



RIP RAP AT END SECTIONS



CONSTRUCTION ENTRANCE



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 WISCONSIN OFFICE: 2073 WATERTOWN ROAD, SUITE 100, BROOKFIELD, WI 53106, (262) 754-8888
 CHICAGO OFFICE: 1100 W. WASHINGTON, CHICAGO, IL 60607, (773) 399-1100

ZILBER INDUSTRIAL 5 AT GERMANTOWN
GATEWAY CORPORATE PARK
GERMANTOWN, WI

CONSTRUCTION DETAILS

REVISIONS

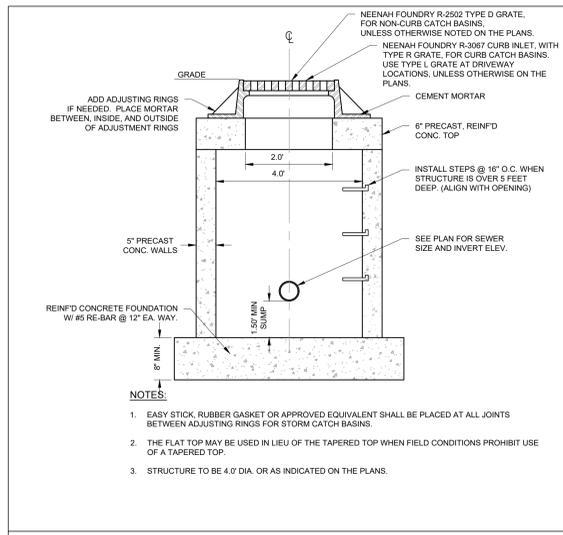
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 REG. NO.: AUS
 START DATE: 03/04/23
 SCALE: N.T.S.
SHEET C-15 of C-17

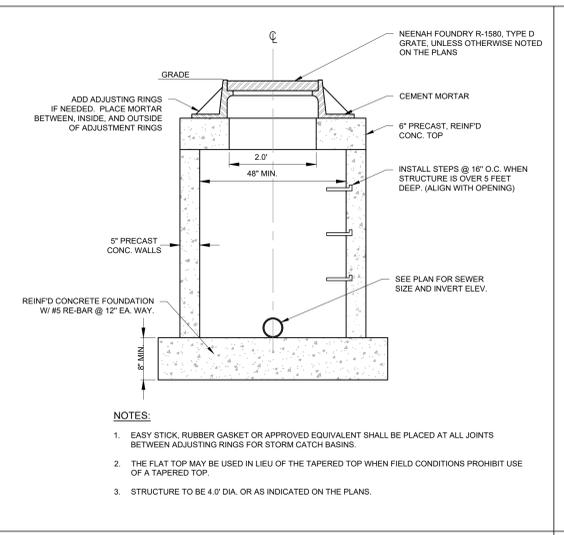
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 CONSTRUCTION DETAILS

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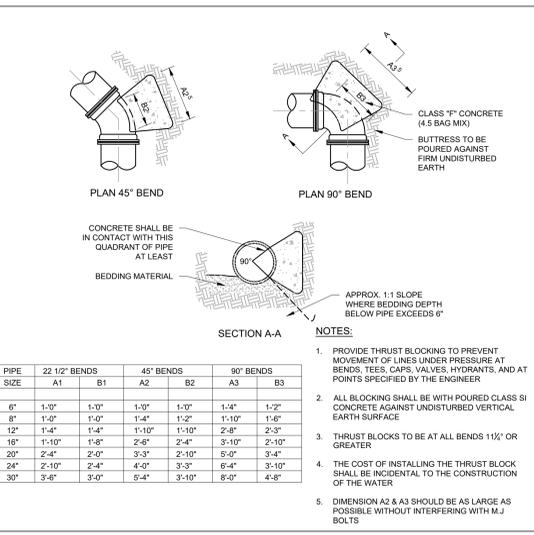
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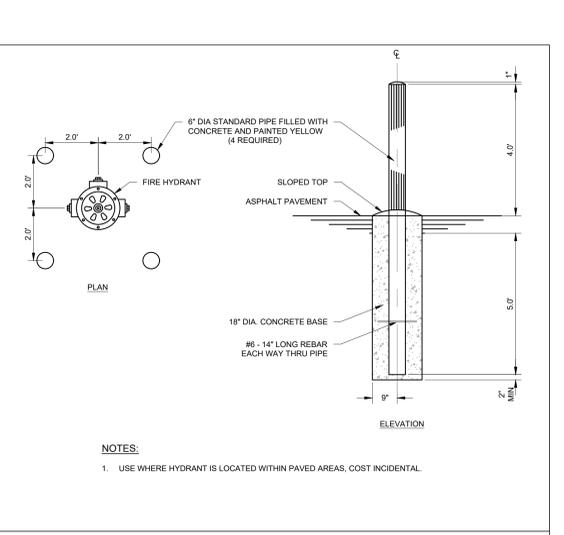
CATCH BASIN



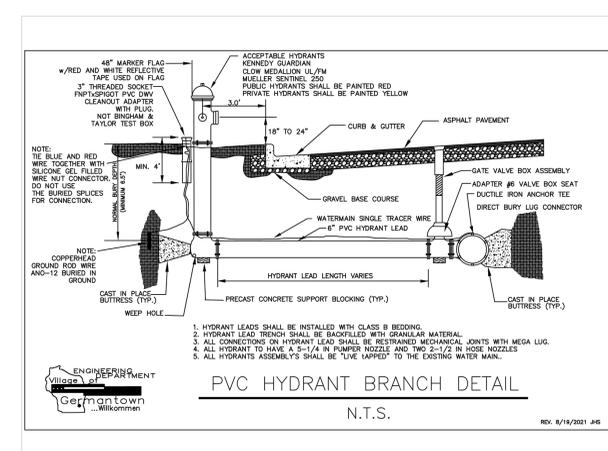
STORM SEWER MANHOLE



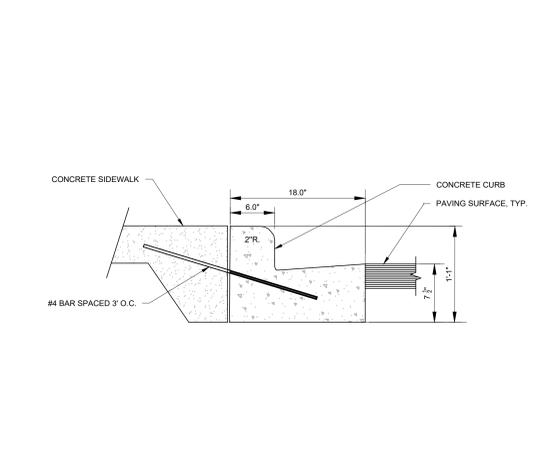
THRUST BLOCK



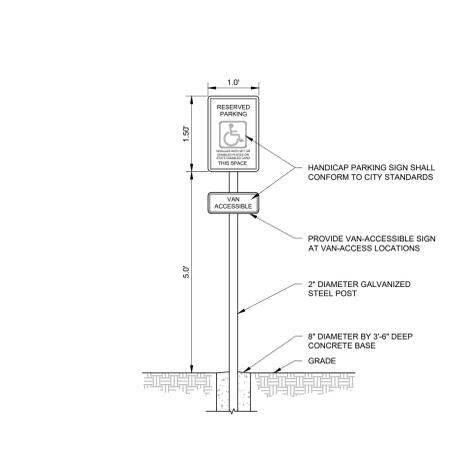
HYDRANT BOLLARD



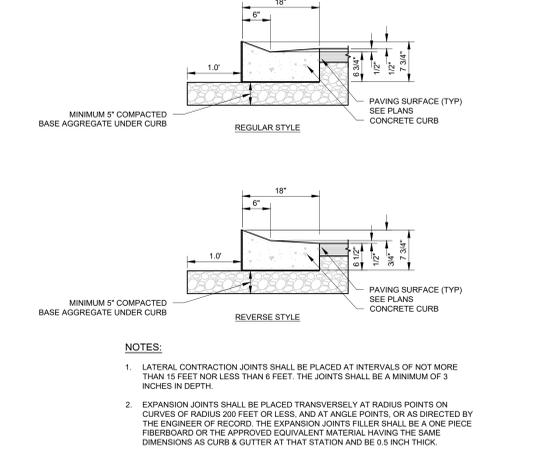
PVC HYDRANT BRANCH DETAIL



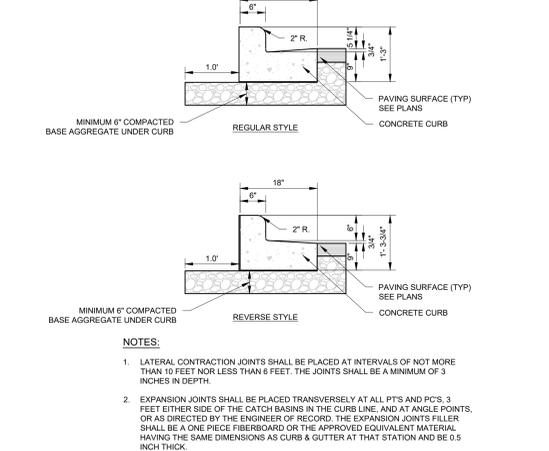
18" CURB ADJACENT TO SIDEWALK



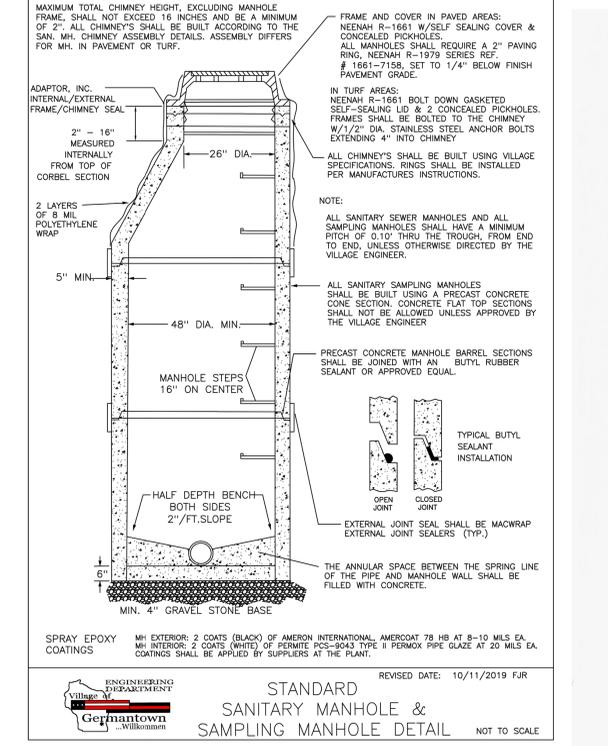
ADA SIGN



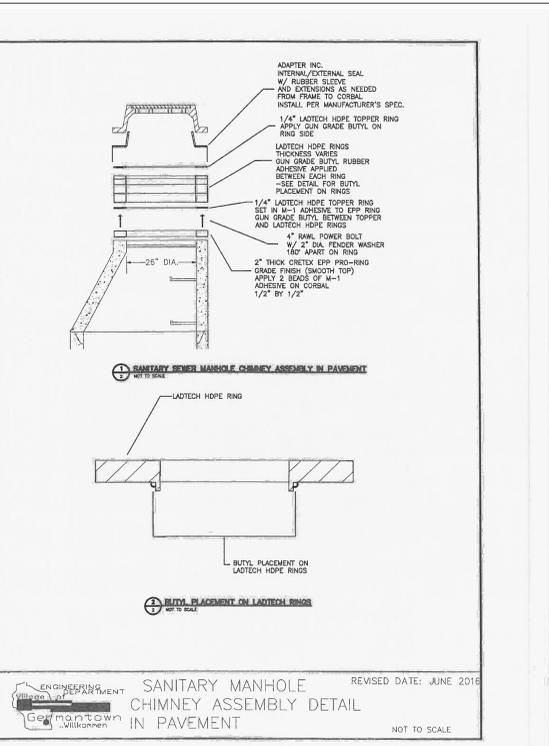
18" DEPRESSED CURB



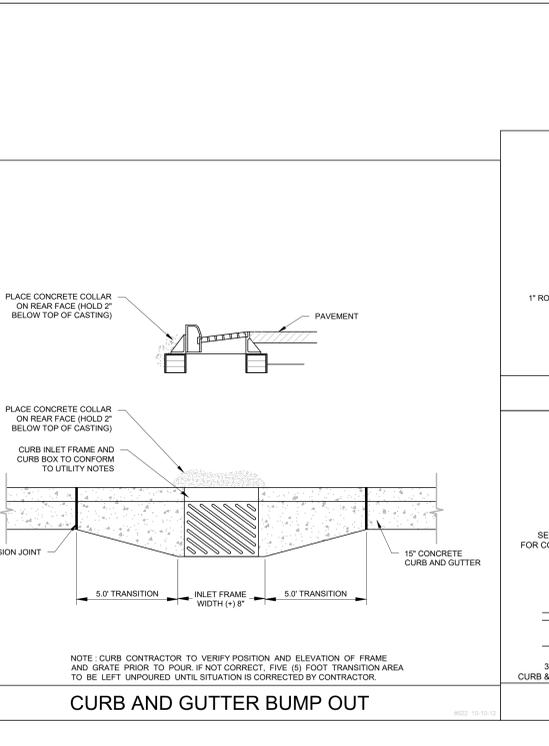
18" VERTICAL FACE CURB



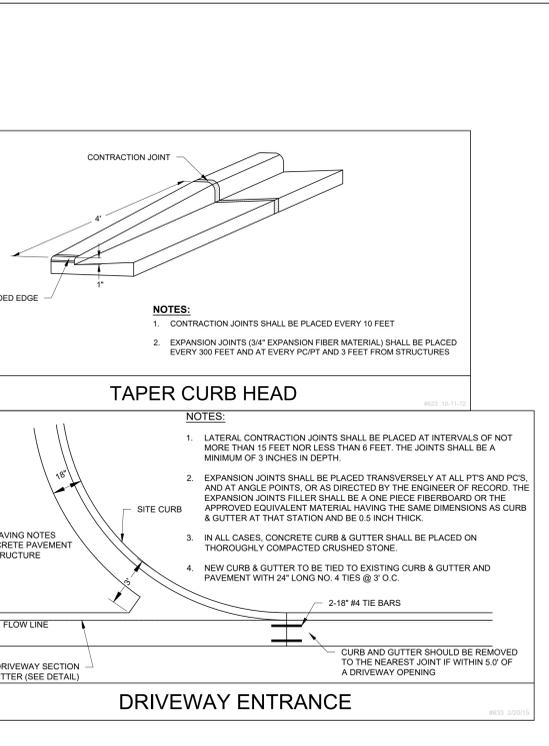
STANDARD SANITARY MANHOLE & SAMPLING MANHOLE DETAIL



SANITARY MANHOLE CHIMNEY ASSEMBLY DETAIL IN PAVEMENT



CURB AND GUTTER BUMP OUT



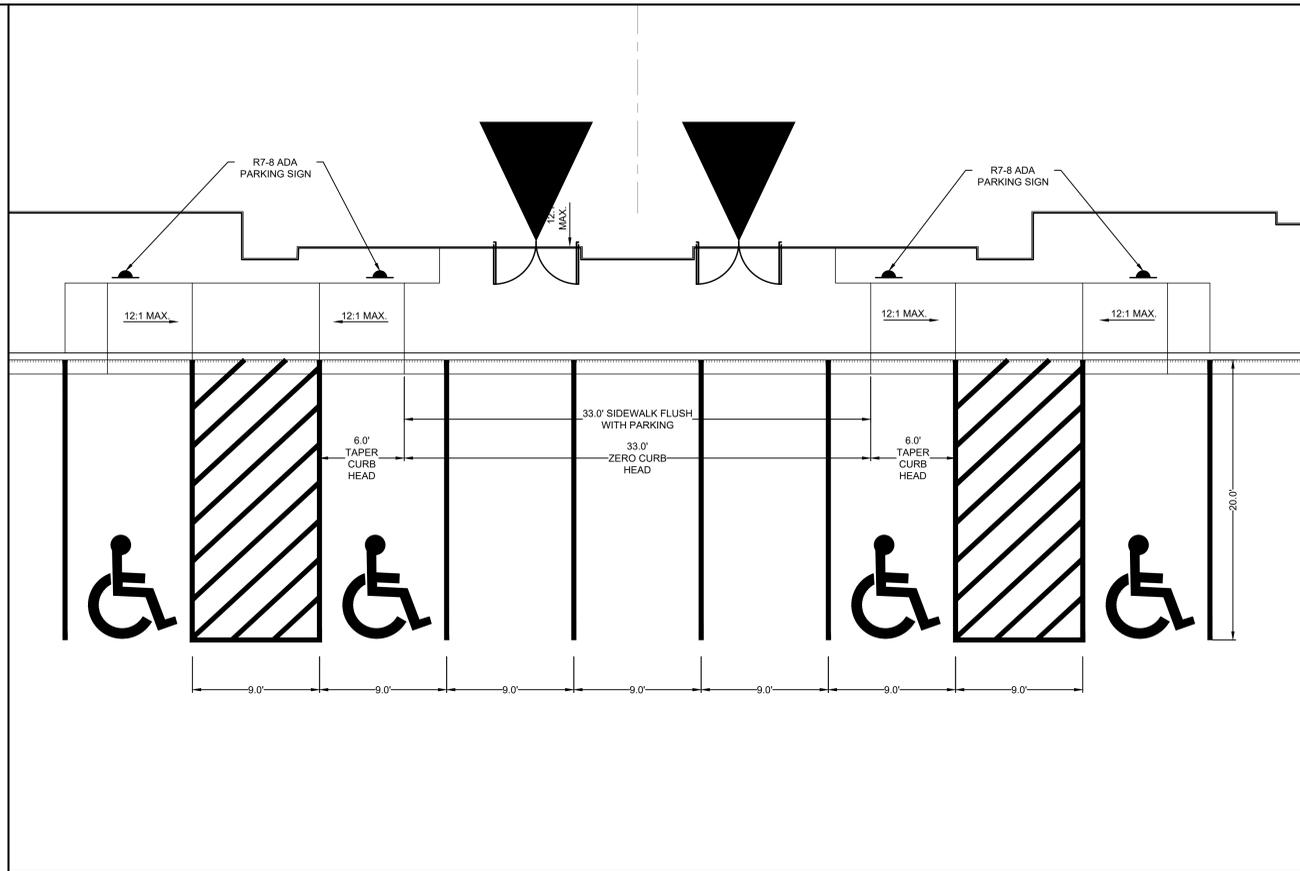
DRIVEWAY ENTRANCE

REVISIONS	
1	MUNICIPAL SUBMITTAL 01/06/22

CONSTRUCTION DETAILS

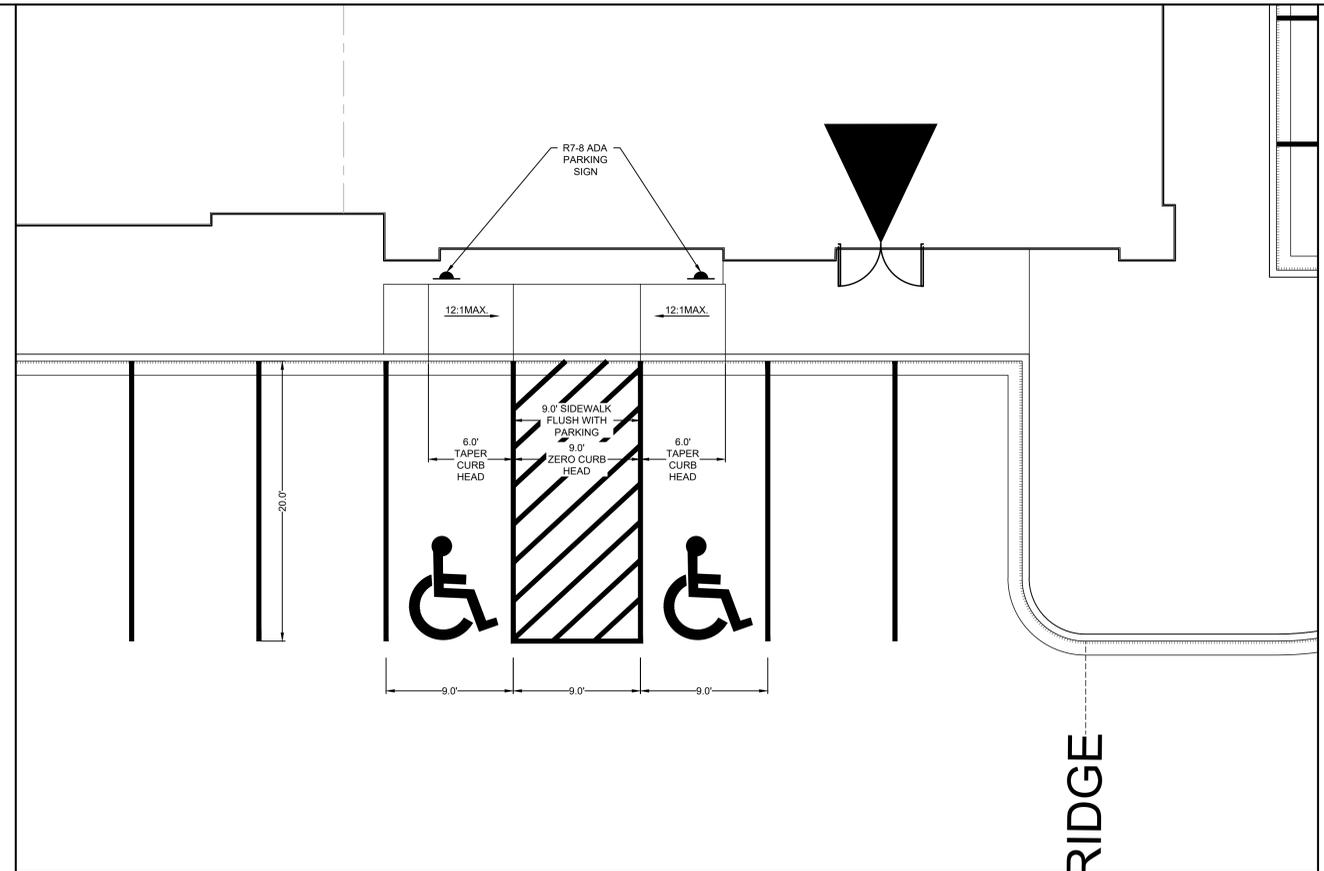
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DESIGNED: EP
DRAWN: JAS
REVIEWED: JAS



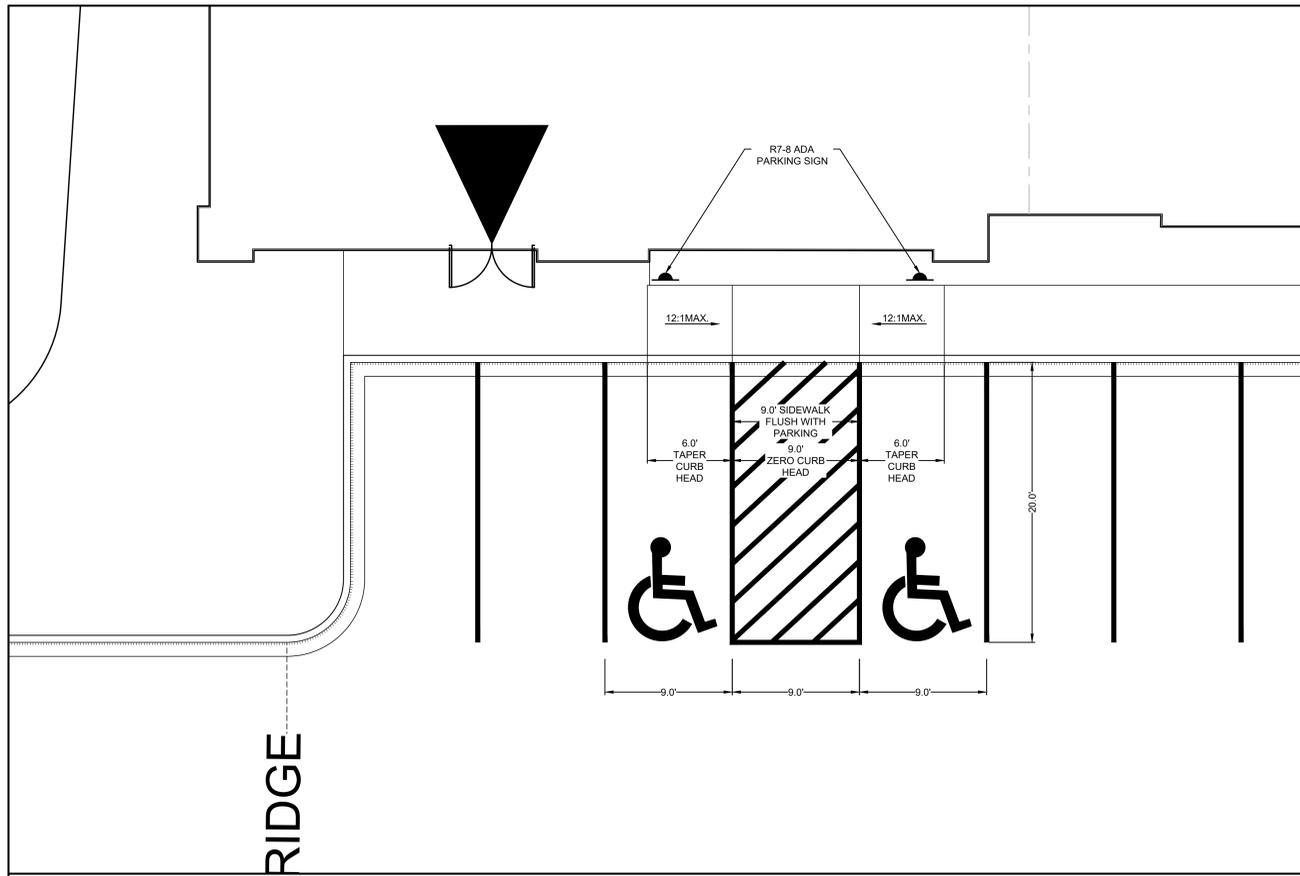
ADA PARKING DETAILS
SOUTH BUILDING CENTER

SCALE: 1" = 5'



ADA PARKING DETAILS
SOUTHWEST BUILDING CORNER

SCALE: 1" = 5'



ADA PARKING DETAILS
SOUTHWEST BUILDING CORNER

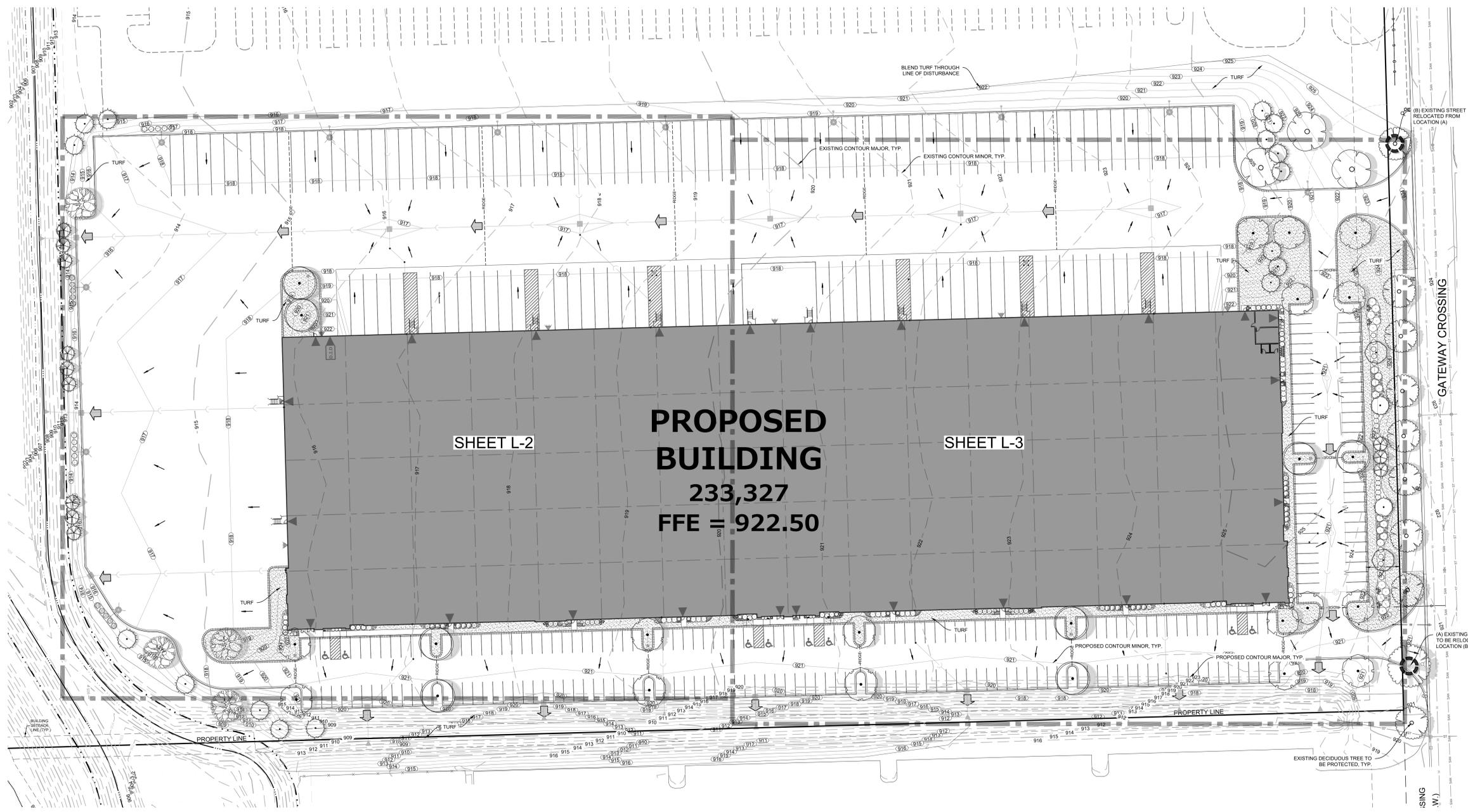
SCALE: 1" = 5'



REVISIONS

NO.	DESCRIPTION	DATE
1	MUNICIPAL SUBMITTAL	01/06/22

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 DATE: 05/21/2018
 DRAWN: DJB
 CHECKED: JSC
 PROJECT: Z:\PROJECTS\2018\1296.00E-WI\CAD\SHEETS\1296.00E LANDSCAPE PLAN.DWG

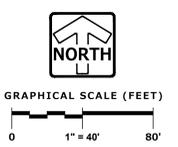


TREE & GROUND COVER KEY

TREES	BOTANICAL / COMMON NAME
	STREET TREE FROM PREVIOUS ROADWAY PLAN
DECIDUOUS TREES	
	<i>Acer freemanii</i> 'Autumn Fantasy' Autumn Fantasy Maple 50' T x 40' W
	<i>Gleditsia triacanthos</i> 'Shademaster' Shademaster Honeylocust 50' T x 35' W
	<i>Gymnocladus dioica</i> Kentucky Coffee Tree 60' T x 50' W
	<i>Quercus x schuetti</i> Swamp Bur Oak 70' T x 65' W
	<i>Tilia americana</i> 'Redmond' Redmond American Linden 60' T x 35' W
EVERGREEN TREES	
	<i>Juniperus virginiana</i> Eastern Red Cedar 30' T x 15' W
	<i>Picea glauca</i> 'Denata' Black Hills Spruce 30' T x 20' W
ORNAMENTAL TREES	
	<i>Amelanchier grandiflora</i> 'Autumn Brilliance' Autumn Brilliance Serviceberry 25' T x 25' W
TURF	
	Turf Hydroseed Reinders - Cadet 70/30 Fescue/Blue Mix

EXISTING VEGETATION NOTES

- FOR EXISTING STREET TREE AND EXISTING VEGETATION INFORMATION, REFER TO PREVIOUSLY SUBMITTED OVERALL PARK LANDSCAPE PLANS.
- EXISTING VEGETATION INSTALLED AS PART OF OVERALL PARK LANDSCAPING TO BE PRESERVED AND PROTECTED EXCEPT FOR GROUND COVER AND TURF IMPACTED BY CONSTRUCTION WHICH SHALL BE RESTORED AS SHOWN ON LANDSCAPE PLAN.



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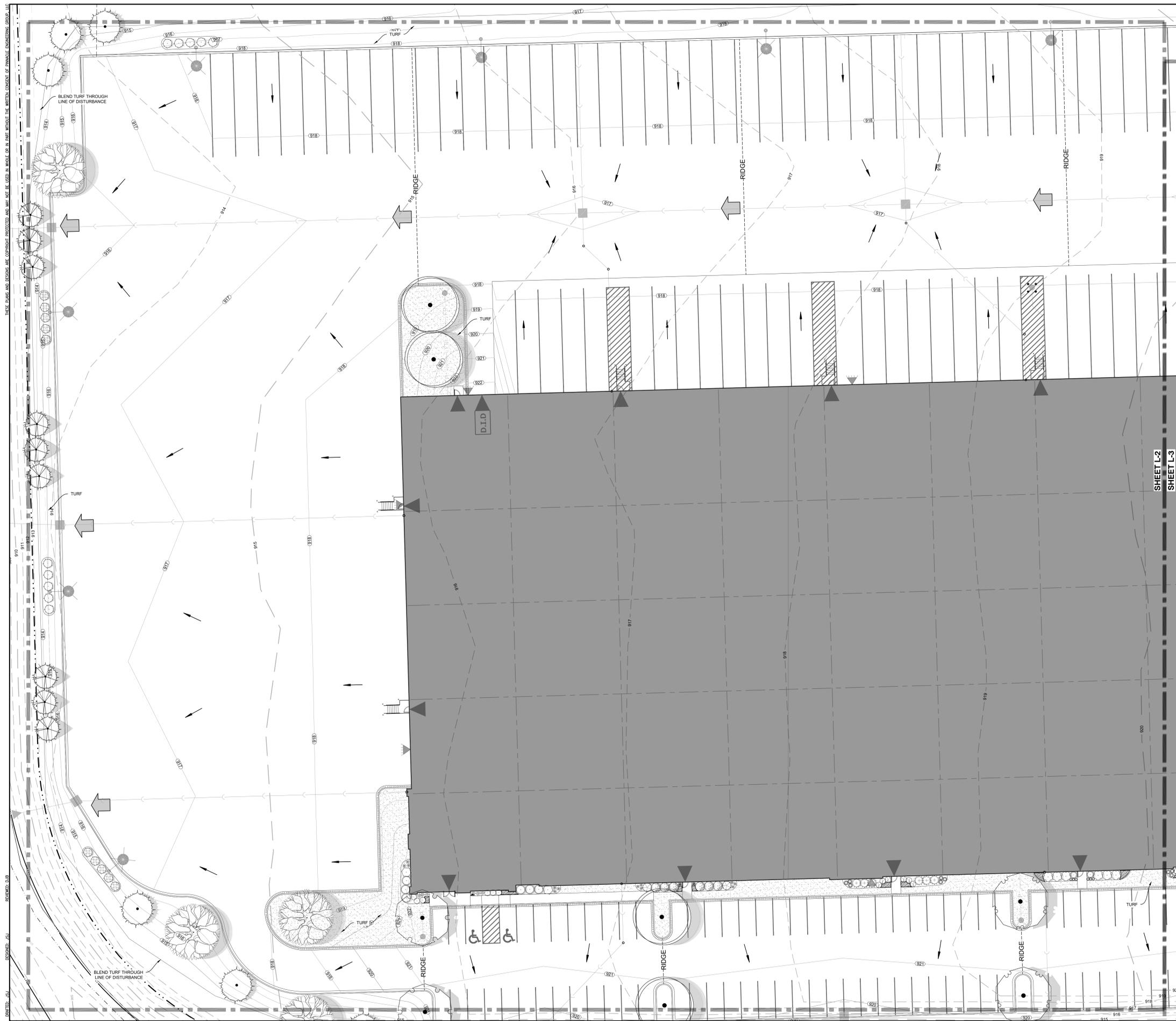
ZILBER INDUSTRIAL 5 AT GERMANTOWN
GATEWAY CORPORATE PARK
 GERMANTOWN, WI

LANDSCAPE OVERVIEW & TREE PLAN

REVISIONS	
1	MUNICIPAL SUBMITTAL 01/06/22

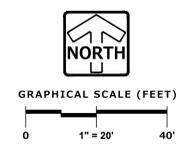
REG. NO. 12596.00E ALIS
 START DATE 03/04/23
 SCALE 1" = 40'
 SHEET L-1 OF L-4

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 LANDSCAPE OVERVIEW & TREE PLAN



SHRUB & PERNNIAL KEY

SHRUBS	BOTANICAL / COMMON NAME
	Aronia melanocarpa 'Elate' Glossy Black Chokeberry 5' T x 5' W
	Cephalanthus occidentalis 'Ping Pong' Ping Pong Buttonbush 8' T x 8' W
	Hydrangea p 'Vanilla Strawberry' Vanilla Strawberry Hydrangea 6' T x 5' W
	Hydrangea paniculata 'Bobo' Bobo Hydrangea 3' T x 4' W
	Physocarpus opulifolius 'Center Glow' Center Glow Ninebark 8' T x 8' W
	Potentilla fruticosa 'McKay's White' McKay's White Bush Cinquefoil 3' T x 3' W
	Rosa rugosa 'Purple Pavement' Purple Pavement Rugosa Rose 5' T x 4' W
	Spiraea japonica 'Magic Carpet' Magic Carpet Spirea 2' T x 3' W
	Syringa meyeri 'Palibin' Dwarf Korean Lilac 5' T x 5' W
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME
	Juniperus chinensis 'Sea Green' Sea Green Juniper 5' T x 5' W
	Juniperus chinensis 'Sea of Gold' Sea of Gold Juniper 3' T x 5' W
	Juniperus sabiniana 'Buffalo' Buffalo Juniper 1' T x 7' W
	Juniperus squamata 'Blue Star' Blue Star Juniper 3' T x 4' W
	Juniperus virginiana 'Grey Owl' Eastern Redcedar Juniper 3' T x 5' W
	Taxus x media 'Tauntioni' Tauntion Yew 4' T x 5' W
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME
	Andropogon gerardii 'Dancing Wind' Dancing Wind Big Blue Stem 36" T x 30" W
	Calamagrostis x a 'Overdam' Overdam Reed Grass 24" T x 24" W
	Eragrostis spectabilis Purple Love Grass 24" T x 18" W
	Panicum virgatum 'Northwind' Northwind Switch Grass 42" T x 28" W
	Schizachyrium scoparium 'Blue Heaven' Blue Heaven Little Bluestem Grass 30" T x 28" W
	Sporobolus heterolepis 'Tara' Prairie Droseed 15" T x 20" W
SHRUB AREAS	BOTANICAL / COMMON NAME
	PERENNIALS
	Astilbe chinensis 'Vision in Red' Vision in Red Astilbe 15" T x 18" W
	Calamintha nepeta Calamint 12" T x 18" W
	Coreopsis verticillata 'Zagreb' Zagreb Coreopsis 20" T x 16" W
	Echinacea purpurea 'Magnus Superior' Magnus Superior Coneflower 28" T x 16" W
	Hemerocallis 'Stella De Oro' Stella De Oro Daylily 12" T x 20" W
	Heuchera m 'Palace Purple' Palace Purple Coral Bells 18" T x 18" W
	Hosta x 'Gold Standard' Gold Standard Hosta 20" T x 50" W
	Hosta x 'Patriot' Patriot Hosta 20" T x 38" W
	Leucanthemum x 'Becky' Becky Shasta Daisy 15" T x 15" W
	Nepeta x 'Walker's Low' Walker's Low Catmint 20" T x 28" W
	Rudbeckia f 'Vietta's Little Suzy' Vietta's Little Suzy Coneflower 10" T x 12" W
	Salvia nemorosa 'May Night' May Night Sage 18" T x 18" W
	TURF
	Turf Hydroseed Reinders - Cadet 70/30 Fescue/Blue Mix



PLAN | DESIGN | DELIVER
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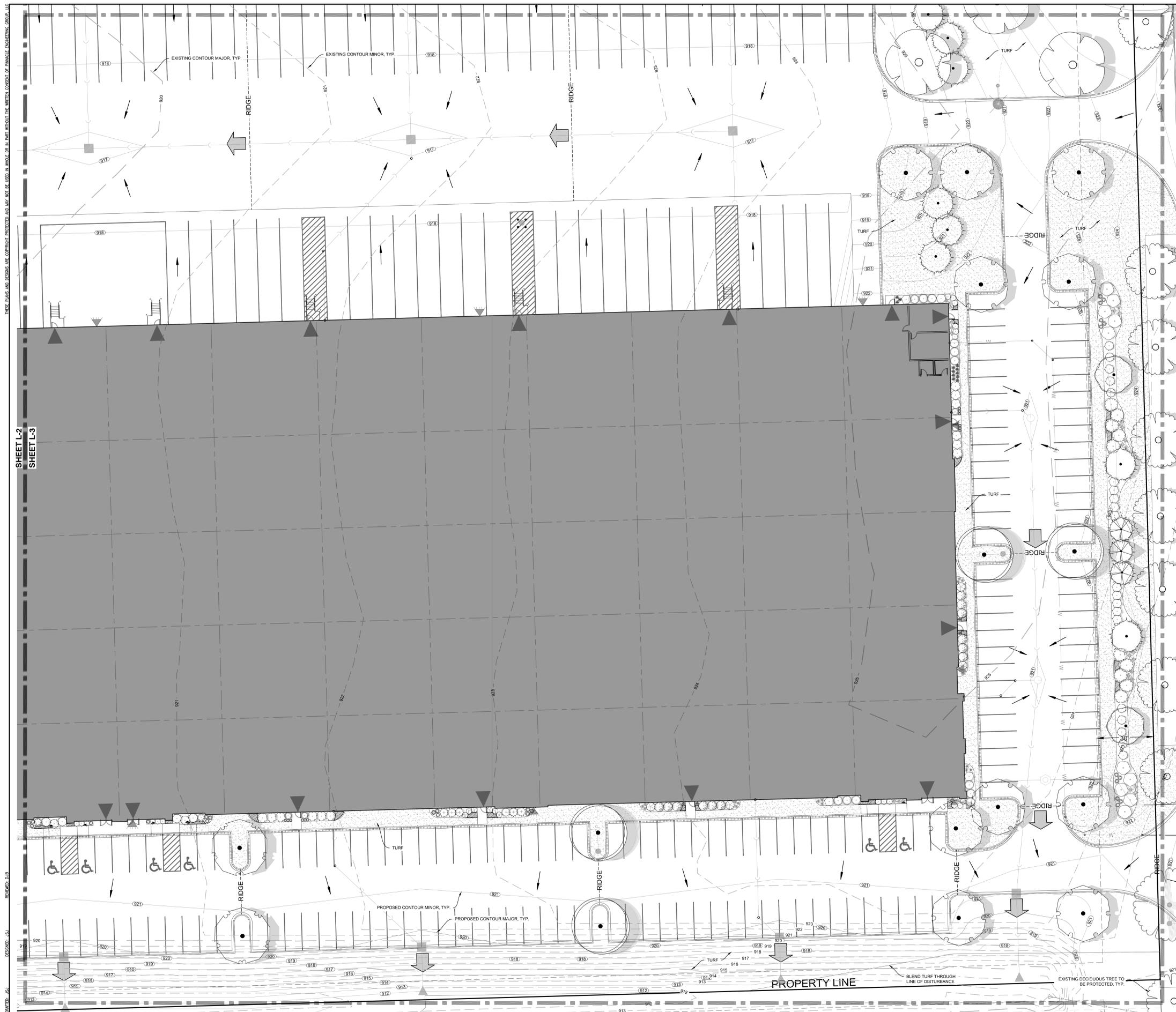
**ZILBER INDUSTRIAL 5 AT GERMANTOWN
GATEWAY CORPORATE PARK
GERMANTOWN, WI**

LANDSCAPE ENLARGEMENT

REVISIONS	
1	MUNICIPAL SUBMITTAL 01/06/22

REG. NO. 12596.00E
REG. PM. ALIS
START DATE 03/04/23
SCALE 1" = 20'

SHEET
L-2
OF
L-4



SHRUB & PERENNIAL KEY

SHRUBS	BOTANICAL / COMMON NAME
	Aronia melanocarpa 'Elate' Glossy Black Chokeberry 5' T x 5' W
	Cephalanthus occidentalis 'Ping Pong' Ping Pong Buttonbush 8' T x 8' W
	Hydrangea p 'Vanilla Strawberry' Vanilla Strawberry Hydrangea 6' T x 5' W
	Hydrangea paniculata 'Bobo' Bobo Hydrangea 3' T x 4' W
	Physocarpus opulifolius 'Center Glow' Center Glow Ninebark 8' T x 8' W
	Potentilla fruticosa 'McKay's White' McKay's White Bush Cinquefoil 3' T x 3' W
	Rosa rugosa 'Purple Pavement' Purple Pavement Rugosa Rose 5' T x 4' W
	Spiraea japonica 'Magic Carpet' Magic Carpet Spirea 2' T x 3' W
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	Panicum virgatum 'Northwind' Northwind Switch Grass 42" T x 28" W
	Schizachyrium scoparium 'Blue Heaven' Blue Heaven Little Bluestem Grass 30" T x 28" W
	Sporobolus heterolepis 'Tara' Prairie Crossed 15" T x 20" W
SHRUB AREAS	
	BOTANICAL / COMMON NAME
PERENNIALS	
	Astilbe chinensis 'Vision in Red' Vision in Red Astilbe 15" T x 18" W
	Calamintha nepeta Calamint 12" T x 18" W
	Coreopsis verticillata 'Zagreb' Zagreb Coreopsis 20" T x 16" W
	Echinacea purpurea 'Magnus Superior' Magnus Superior Coneflower 28" T x 16" W
	Hemerocallis 'Stella De Oro' Stella De Oro Daylily 12" T x 20" W
	Heuchera n 'Palace Purple' Palace Purple Coral Bells 18" T x 18" W
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	Hosta x 'Patriot' Patriot Hosta 20" T x 38" W
	Leucanthemum x 'Becky' Becky Shasta Daisy 15" T x 15" W
	Nepeta x 'Walker's Low' Walker's Low Catmint 20" T x 28" W
	Rudbeckia 'Vitto' Vitto's Little Suzy 10" T x 12" W
	Salvia nemorosa 'May Night' May Night Sage 18" T x 18" W
	BOTANICAL / COMMON NAME
	Turf Hydrosced Reinders - Cadet 70/30 Fescue/Blue Mix

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REVIEWED: DUB

DESIGNED: JSD

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LANDSCAPE GENERAL NOTES & DETAILS

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SHEET KEYNOTES

- 03-01 CONCRETE PIPE BOLLARD W/ YELLOW PLASTIC SLEEVE
- 03-02 CONCRETE STOOP
- 03-07 CONCRETE SIDEWALK W/ INTEGRAL CURB
- 05-01 DOCK STAIR (AMB) - HOT DIPPED GALVANIZED METAL



215 N. WATER STREET, SUITE 250
MILWAUKEE, WISCONSIN 53202
T 414.277.9700 | F 414.277.9705
spsarchitects.com



CREATIVITY BEYOND ENGINEERING

PROJECT

PROPOSED BUILDING FOR:

ZILBER INDUSTRIAL 5

GERMANTOWN GATEWAY
CORPORATE PARK
GATEWAY CROSSING & ROCKFIELD ROAD
GERMANTOWN, WI

OWNER

ZILBER
PROPERTY GROUP_{SM}

CONTRACTOR



REVISIONS

NO.	DESCRIPTION	DATE

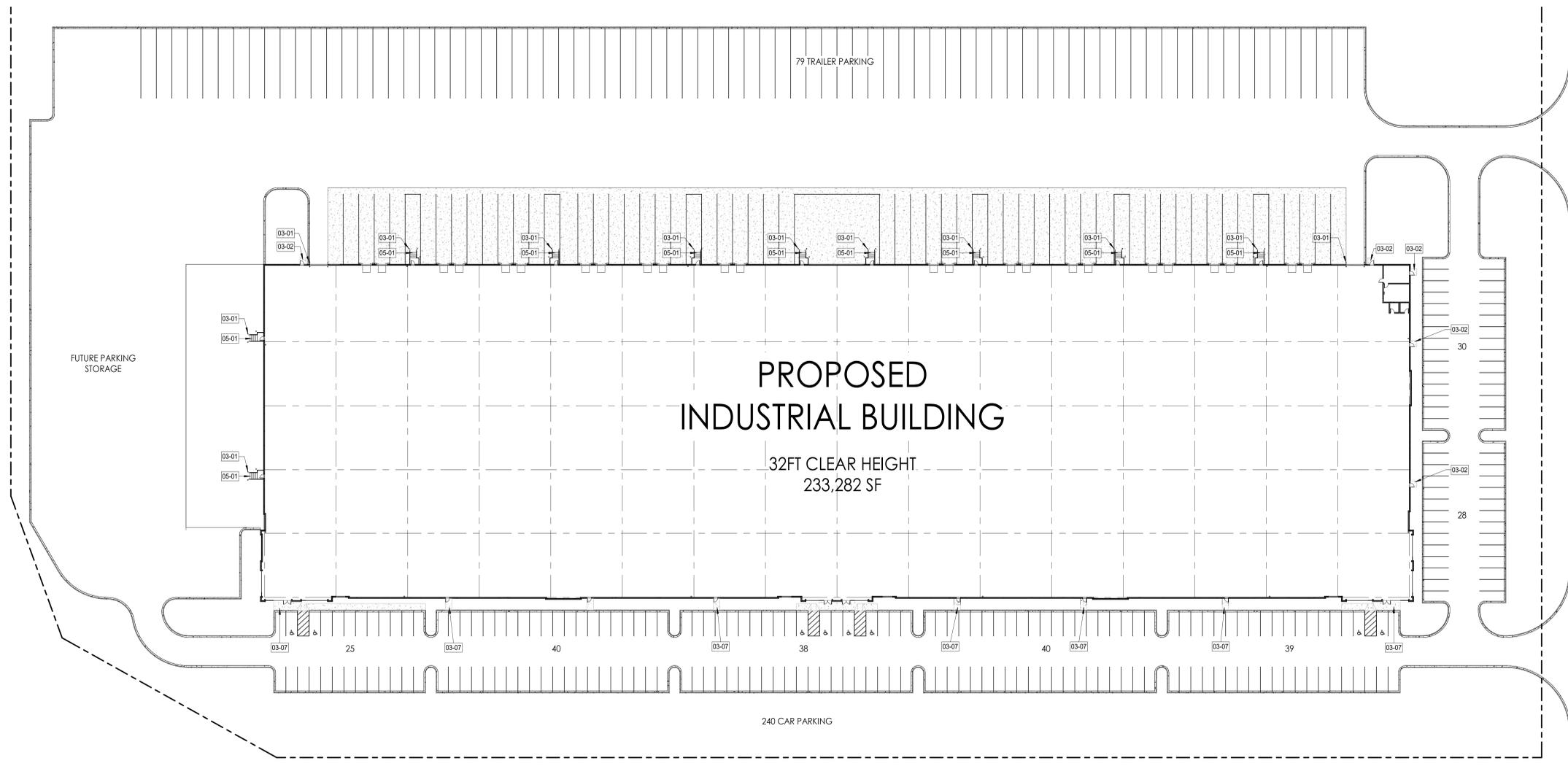
INFORMATION

PROJECT ARCHITECT	SRC
PROJECT MANAGER	MAM
PROJECT NUMBER	211105
ISSUED FOR	MUNICIPAL REVIEW
DATE	JANUARY 6, 2022

SHEET

ARCHITECTURAL SITE PLAN

A050



1 ARCHITECTURAL SITE PLAN
SCALE 1" = 40'-0"





215 N. WATER STREET, SUITE 250
MILWAUKEE, WISCONSIN 53202
T 414.277.9700 | F 414.277.9705
spsarchitects.com



CREATIVITY BEYOND ENGINEERING

PROJECT

PROPOSED BUILDING FOR:

ZILBER INDUSTRIAL 5

GERMANTOWN GATEWAY
CORPORATE PARK
GATEWAY CROSSING & ROCKFIELD ROAD
GERMANTOWN, WI

OWNER

ZILBER
PROPERTY GROUP_{SM}

CONTRACTOR



REVISIONS

NO.	DESCRIPTION	DATE

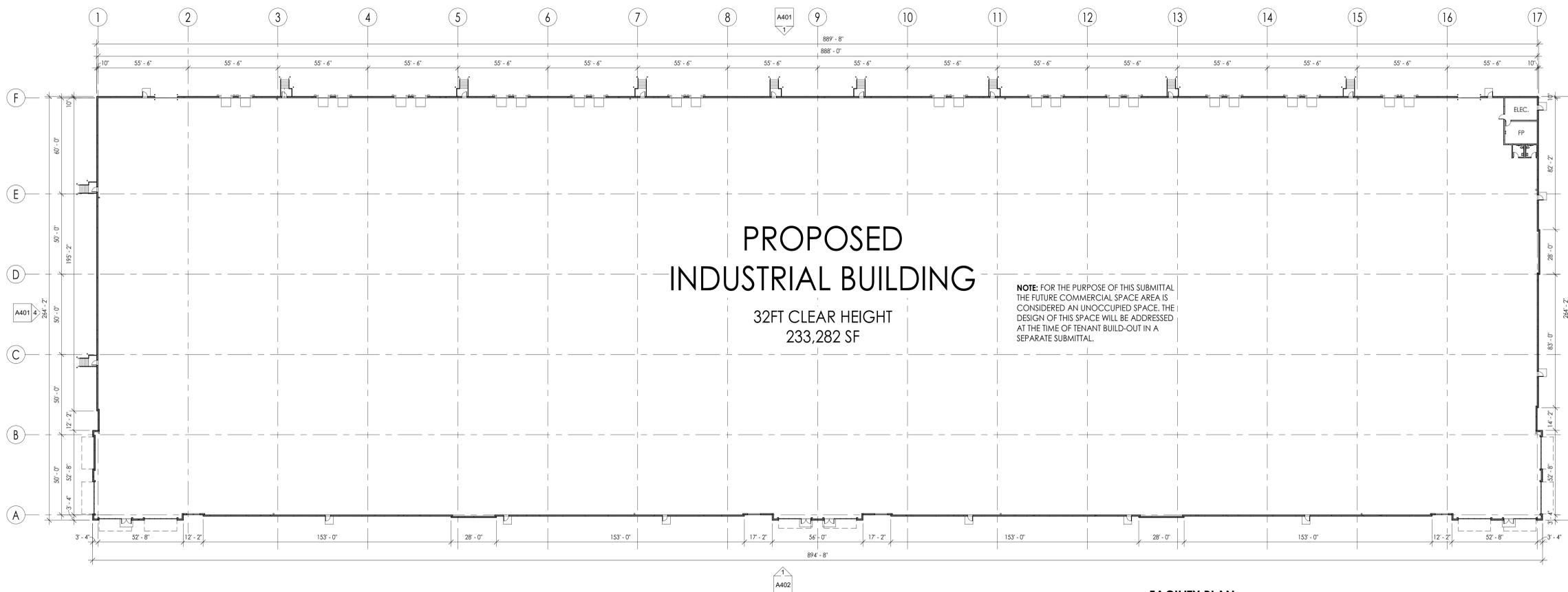
INFORMATION

PROJECT ARCHITECT	SRC
PROJECT MANAGER	MAM
PROJECT NUMBER	211105
ISSUED FOR	MUNICIPAL REVIEW
DATE	JANUARY 6, 2022

SHEET

FACILITY PLAN

A100



1 FACILITY PLAN
SCALE 1" = 30'-0"

GENERAL PLAN NOTES

- A. COMPLY WITH CODES, LAWS, ORDINANCES, RULES OF AUTHORITIES HAVING JURISDICTION.
- B. GENERAL CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- C. DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS OR NOTES SHALL GOVERN, AND IF THERE ARE ANY MISSING DIMENSIONS OR DISCREPANCIES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT THE ARCHITECT BEFORE PERFORMING ANY WORK IN QUESTION.
- D. THE NOTE 'ALIGN' WILL SUPERSEDE ANY DIMENSIONAL NOTE AND IF THERE IS A DISCREPANCY, THE CONTRACTOR SHOULD CONSULT THE ARCHITECT.
- E. IF THERE ARE ANY CONFLICTS BETWEEN FLOOR PLAN AND INTERIOR DETAILS AND ELEVATIONS, GENERAL CONTRACTOR TO CONSULT THE ARCHITECT.
- F. CONTRACTOR TO PROVIDE A COMPLETE AND THOROUGH CLEANING FOR THE ENTIRE BUILD-OUT.
- G. ALL INTERIOR GYPSUM BOARD PARTITIONS SHOULD BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. ANY PATCH WORK THAT IS REQUIRED ON EXISTING WALLS THAT ARE ADJACENT TO NEW WALLS SHALL BE FLUSH.
- H. OWNER/TENANT WILL PROVIDE WORK NOTED "BY OTHER" OR "NIC" UNDER SEPARATE CONTRACT. GENERAL CONTRACTOR TO COORDINATE THIS WORK IN ORDER TO ASSURE APPROPRIATE INSTALLATION AND PROPER SEQUENCE OF INSTALLATION.
- I. BUILDING OWNER AND TENANT TO APPROVE KEYING ALL NEW AND RE-KEYING OF EXISTING HARDWARE.
- J. CONTRACTOR TO PROVIDE ALL WALL REINFORCING OR BLOCKING REQUIRED FOR ALL HARDWARE AND FIXTURES.
- K. ALL DIMENSIONS ARE TO FACE OF MASONRY, CENTERLINES OF COLUMN LINES, OR NOMINAL DIMENSION OF PARTITION WALLS. NON-MODULAR WALLS ARE DIMENSIONED TO CRITICAL FACES.
- L. GENERAL CONTRACTOR TO INSTALL BUILDING STANDARD HARDWARE THAT IS IN PROPER WORKING ORDER.
- M. THE IMPRINTING OR ADHERING OF COMPANY CONTACT INFORMATION IS PROHIBITED ON ANY FINISHED SURFACE.

SHEET KEYNOTES

- 03-01 CONCRETE PIPE BOLLARD W/ YELLOW PLASTIC SLEEVE
- 03-02 CONCRETE STOOP
- 05-01 DOCK STAIR (AM8) - HOT DIPPED GALVANIZED METAL
- 08-01 'Z' GUARDS AT DOCK DOORS
- 22-02 ROOF DRAIN LEADER. CONFIRM SIZE/LOCATION WITH D/B PLUMBING CONTRACTOR

KEY PLAN



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GATEWAY CROSSING & ROCKFIELD ROAD
GERMANTOWN, WI

OWNER

ZILBER
PROPERTY GROUP_{SM}

CONTRACTOR



REVISIONS

NO.	DESCRIPTION	DATE

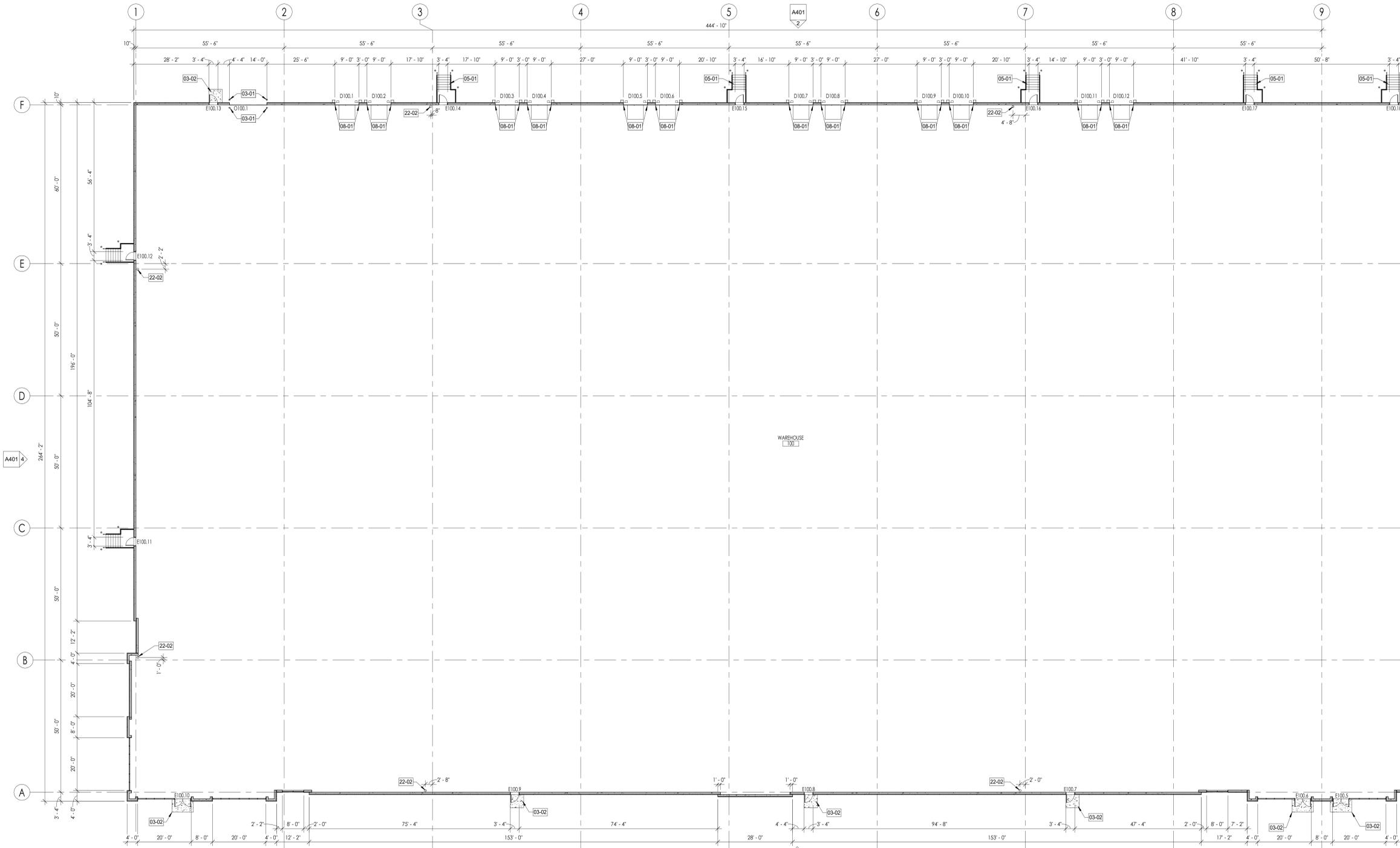
INFORMATION

PROJECT ARCHITECT	SRG
PROJECT MANAGER	MAM
PROJECT NUMBER	211105
ISSUED FOR	MUNICIPAL REVIEW
DATE	JANUARY 6, 2022

SHEET

CONSTRUCTION PLAN 'A'

A101A



1 CONSTRUCTION PLAN - 1ST FLOOR A
SCALE 1/16" = 1'-0"

GENERAL PLAN NOTES

- A. COMPLY WITH CODES, LAWS, ORDINANCES, RULES OF AUTHORITIES HAVING JURISDICTION.
- B. GENERAL CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- C. DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS OR NOTES SHALL GOVERN, AND IF THERE ARE ANY MISSING DIMENSIONS OR DISCREPANCIES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT THE ARCHITECT BEFORE PERFORMING ANY WORK IN QUESTION.
- D. THE NOTE 'ALIGN' WILL SUPERSEDE ANY DIMENSIONAL NOTE AND IF THERE IS A DISCREPANCY, THE CONTRACTOR SHOULD CONSULT THE ARCHITECT.
- E. IF THERE ARE ANY CONFLICTS BETWEEN FLOOR PLAN AND INTERIOR DETAILS AND ELEVATIONS, GENERAL CONTRACTOR TO CONSULT THE ARCHITECT.
- F. CONTRACTOR TO PROVIDE A COMPLETE AND THOROUGH CLEANING FOR THE ENTIRE BUILD-OUT.
- G. ALL INTERIOR GYPSUM BOARD PARTITIONS SHOULD BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. ANY PATCH WORK THAT IS REQUIRED ON EXISTING WALLS THAT ARE ADJACENT TO NEW WALLS SHALL BE FLUSH.
- H. OWNER/TENANT WILL PROVIDE WORK NOTED 'BY OTHER' OR 'NIC' UNDER SEPARATE CONTRACT. GENERAL CONTRACTOR TO COORDINATE THIS WORK IN ORDER TO ASSURE APPROPRIATE INSTALLATION AND PROPER SEQUENCE OF INSTALLATION.
- I. BUILDING OWNER AND TENANT TO APPROVE KEYING ALL NEW AND RE-KEYING OF EXISTING HARDWARE.
- J. CONTRACTOR TO PROVIDE ALL WALL REINFORCING OR BLOCKING REQUIRED FOR ALL HARDWARE AND FIXTURES.
- K. ALL DIMENSIONS ARE TO FACE OF MASONRY, CENTERLINES OF COLUMN LINES, OR NOMINAL DIMENSION OF PARTITION WALLS. NON-MODULAR WALLS ARE DIMENSIONED TO CRITICAL FACES.
- L. GENERAL CONTRACTOR TO INSTALL BUILDING STANDARD HARDWARE THAT IS IN PROPER WORKING ORDER.
- M. THE IMPRINTING OR ADHERING OF COMPANY CONTACT INFORMATION IS PROHIBITED ON ANY FINISHED SURFACE.

SHEET KEYNOTES

- 03-01 CONCRETE PIPE BOLLARD W/ YELLOW PLASTIC SLEEVE
- 03-02 CONCRETE STOOP
- 05-01 DOCK STAIR (AM8) - HOT DIPPED GALVANIZED METAL
- 08-01 'Z' GUARDS AT DOCK DOORS
- 22-02 ROOF DRAIN LEADER - CONFIRM SIZE/LOCATION WITH D/B PLUMBING CONTRACTOR

KEY PLAN



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CREATIVITY BEYOND ENGINEERING

PROJECT

PROPOSED BUILDING FOR:

ZILBER INDUSTRIAL 5
GERMANTOWN GATEWAY
CORPORATE PARK
GATEWAY CROSSING & ROCKFIELD ROAD
GERMANTOWN, WI

OWNER

ZILBER
PROPERTY GROUP_{SM}

CONTRACTOR



REVISIONS

NO.	DESCRIPTION	DATE
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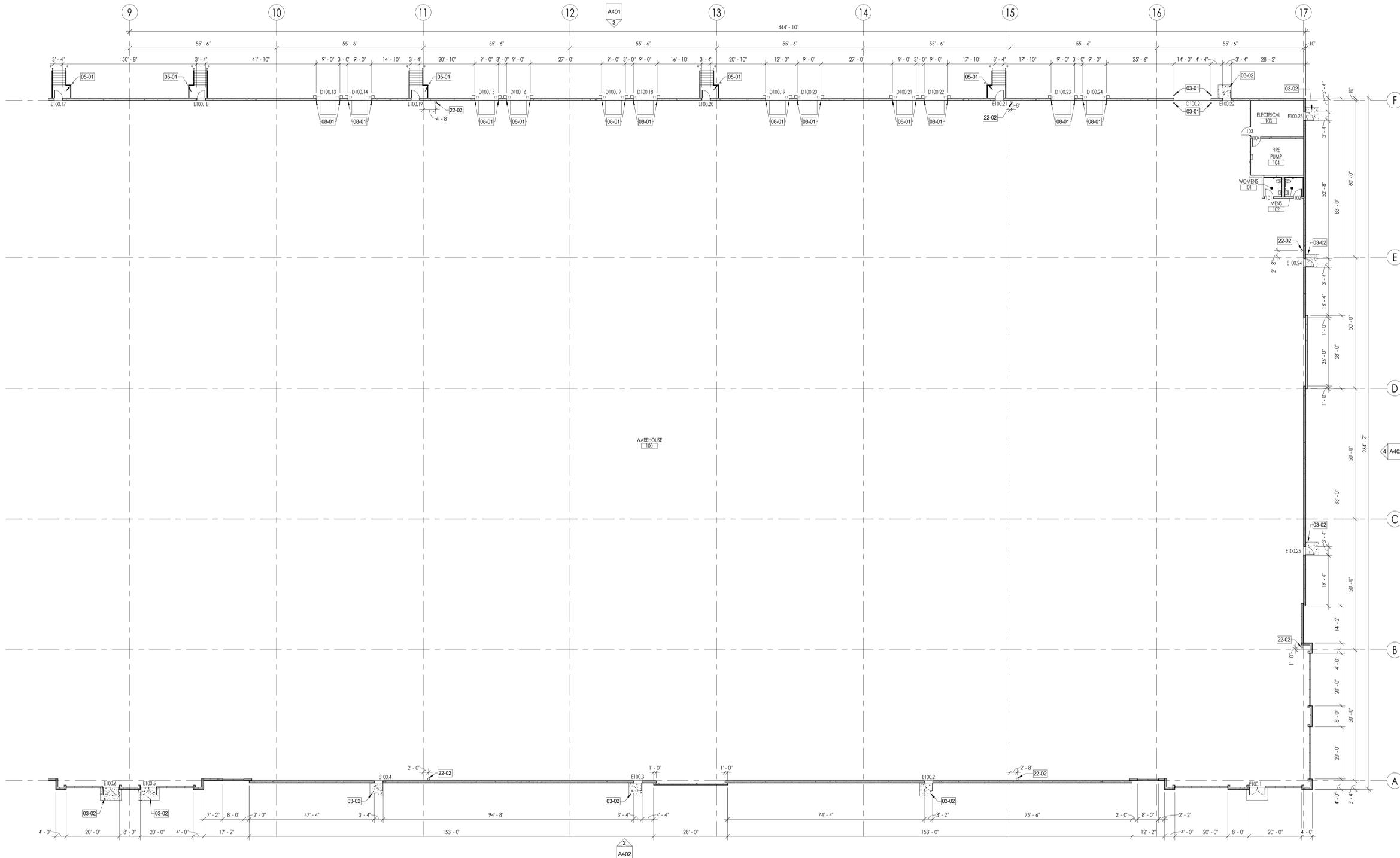
INFORMATION

PROJECT ARCHITECT	SRC
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PROJECT NUMBER	211105
ISSUED FOR	MUNICIPAL REVIEW
DATE	JANUARY 6, 2022

SHEET

CONSTRUCTION PLAN 'B'

A101B



1 CONSTRUCTION PLAN - 1ST FLOOR B
SCALE 1/16" = 1'-0"

SHEET KEYNOTES

- 07-01 PRIMARY ROOF DRAIN W/ INTEGRAL DOWNSPOUT
- 07-03 PREFINISHED METAL THRU-WALL SCUPPER
- 08-10 INSULATED 30"x36" ROOF SCUTTLE W/ LADDER AND CAGE BELOW -GC TO COORDINATE LOCATION WITH STRUCTURAL FRAMING ABOVE

ROOF TYPES

ROOF TYPE #1 - TYPICAL BUILDING ROOF
 SINGLE PLY 45 MIL WHITE EPDM
 2 LAYERS OF POLYISOCYANURATE W/ STAGGERED JOINTS IN BOTH DIRECTIONS (R-20)
 1-1/2" METAL DECKING (SEE STRUCTURAL)

ROOF TYPE #2 - LOWER CANOPY ROOF
 SINGLE PLY 45 MIL WHITE EPDM
 SLOPED POLYISOCYANURATE BOARD (AT 1/4" PER FOOT)
 1-1/2" METAL DECKING (SEE STRUCTURAL)

NOTE:
 1. PITCH TO ROOF DRAIN AT 1/8" PER FOOT MINIMUM.



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CREATIVITY BEYOND ENGINEERING

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PROPOSED BUILDING FOR:

ZILBER INDUSTRIAL 5

GERMANTOWN GATEWAY
 CORPORATE PARK
 GATEWAY CROSSING & ROCKFIELD ROAD
 GERMANTOWN, WI

OWNER

ZILBER
 PROPERTY GROUP_{SM}

CONTRACTOR



REVISIONS

NO.	DESCRIPTION	DATE

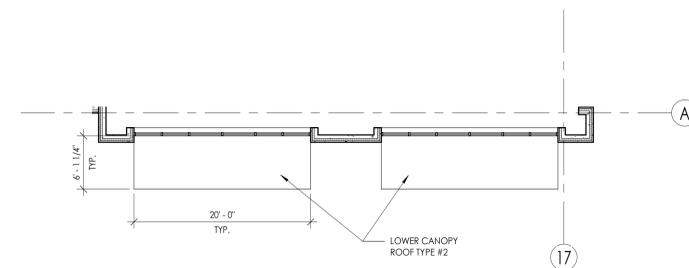
INFORMATION

PROJECT ARCHITECT	SRC
PROJECT MANAGER	MAM
PROJECT NUMBER	211105
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SHEET

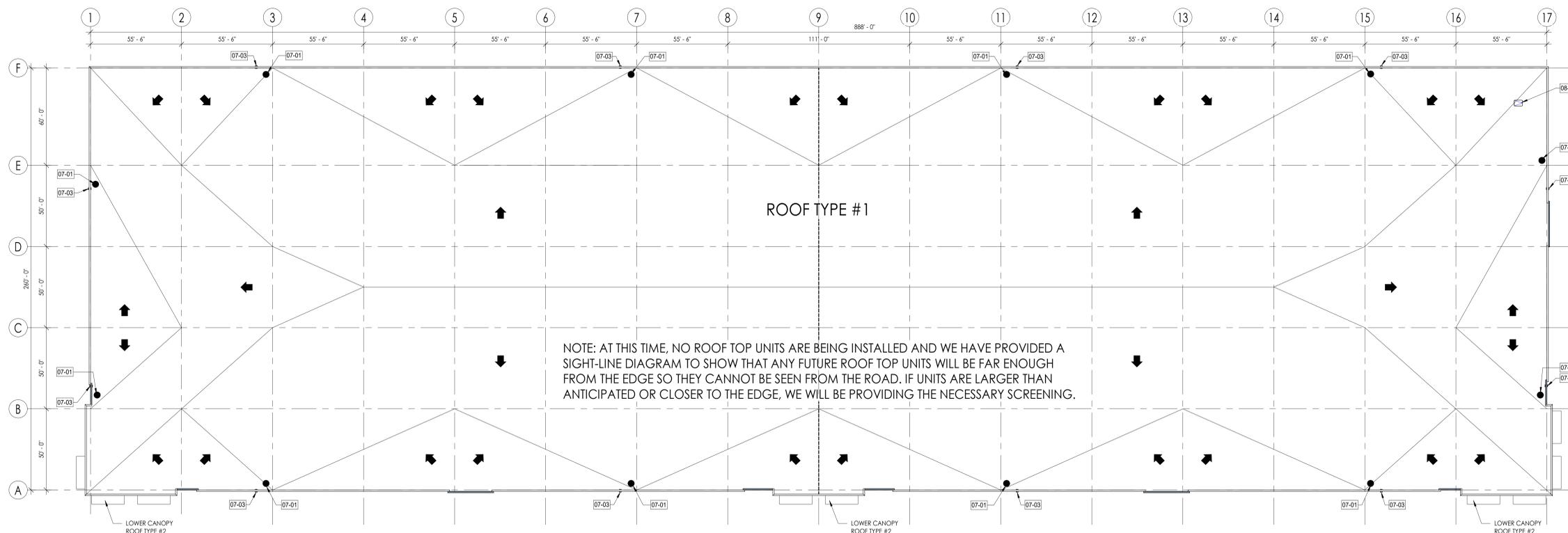
CONSTRUCTION PLAN - ROOF

A102



2 ENLARGED CANOPY ROOF PLAN

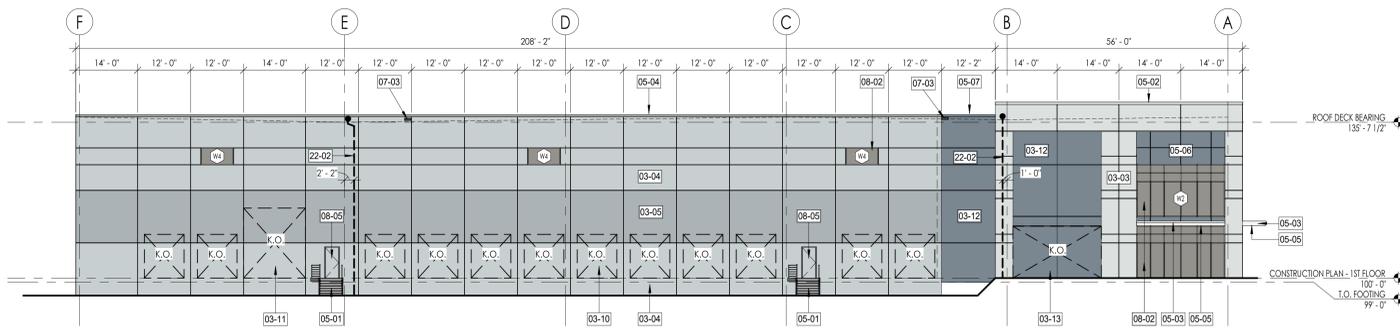
SCALE 1/8" = 1'-0"



1 CONSTRUCTION PLAN - ROOF

SCALE 1" = 30'-0"





4 WEST ELEVATION
SCALE 1/16" = 1'-0"



SHEET KEYNOTES

- 03-03 INSULATED PRECAST WALL PANEL ENTRANCE AREA COLOR (EP11) - SHERWIN WILLIAMS COLOR: SW 6245 QUICKSILVER
- 03-04 INSULATED PRECAST WALL PANEL FIELD COLOR (EP12) - SHERWIN WILLIAMS COLOR: SW 6246 NORTH STAR
- 03-05 INSULATED PRECAST WALL PANEL ACCENT BAND COLOR (EP13) - SHERWIN WILLIAMS COLOR: SW 6248 JUBILEE
- 03-10 FUTURE PRECAST KNOCKOUT FOR 9'X10' DOCK DOOR
- 03-11 FUTURE PRECAST KNOCKOUT FOR 14'X16' DRIVE-IN DOOR
- 03-12 INSULATED PRECAST WALL PANEL ACCENT WALL COLOR (EP14) - SHERWIN WILLIAMS COLOR: SW 6249 STORM CLOUD
- 03-13 FUTURE PRECAST KNOCKOUT FOR STOREFRONT WINDOW
- 05-01 DOCK STAIR (AM8) - HOT DIPPED GALVANIZED METAL
- 05-02 PREFINISHED METAL COPING (AM1) - PAC-GLAD COLOR: STONE WHITE
- 05-03 PREFINISHED COMPOSITE CANOPY PANEL (AM5) - STONEWOOD ARCHITECTURAL PANEL COLOR: MATCH STOREFRONT WINDOW SYSTEM FINISH
- 05-04 PREFINISHED METAL COPING (AM10) - PAC-GLAD COLOR: CITYSCAPE
- 05-05 PREFINISHED COMPOSITE CANOPY SOFFIT PANEL (AM9) - STONEWOOD ARCHITECTURAL PANEL COLOR: MATCH STOREFRONT WINDOW SYSTEM FINISH
- 05-06 PREFINISHED COMPOSITE WALL PANEL (AM11) - STONEWOOD ARCHITECTURAL PANEL COLOR: SQUIRREL GREY 7000-CD
- 05-07 FILED FINISHED METAL COPING (AM12) - PAC-GLAD COLOR: MATCH SHERWIN WILLIAMS SW 6249 STORM CLOUD
- 07-03 PREFINISHED METAL THRU-WALL SCUPPER
- 08-02 ALUMINUM STOREFRONT WINDOW SYSTEM (AM2) - KAWNEER COLOR: CLEAR ANODIZED ALUMINUM
- 08-05 INSULATED STEEL DOOR & FRAME (EP15) - SHERWIN WILLIAMS COLOR: SW 6246 NORTH STAR
- 08-08 INSULATED OVERHEAD DRIVE-IN DOOR (AM6) - CLOPAY COLOR: STANDARD WHITE
- 08-09 INSULATED OVERHEAD DOCK DOOR W/ DOCK SEAL (AM7) - CLOPAY COLOR: STANDARD WHITE
- 22-02 ROOF DRAIN LEADER. CONFIRM SIZE/LOCATION WITH D/B PLUMBING CONTRACTOR



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MILWAUKEE, WISCONSIN 53202
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sp architects.com



CREATIVITY BEYOND ENGINEERING

PROJECT

PROPOSED BUILDING FOR:

ZILBER INDUSTRIAL 5
GERMANTOWN GATEWAY
CORPORATE PARK
GATEWAY CROSSING & ROCKFIELD ROAD
GERMANTOWN, WI

OWNER



CONTRACTOR



REVISIONS

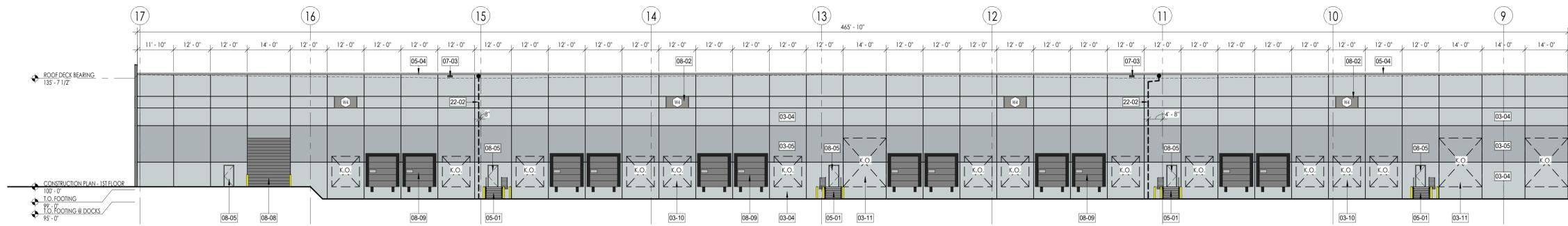
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INFORMATION

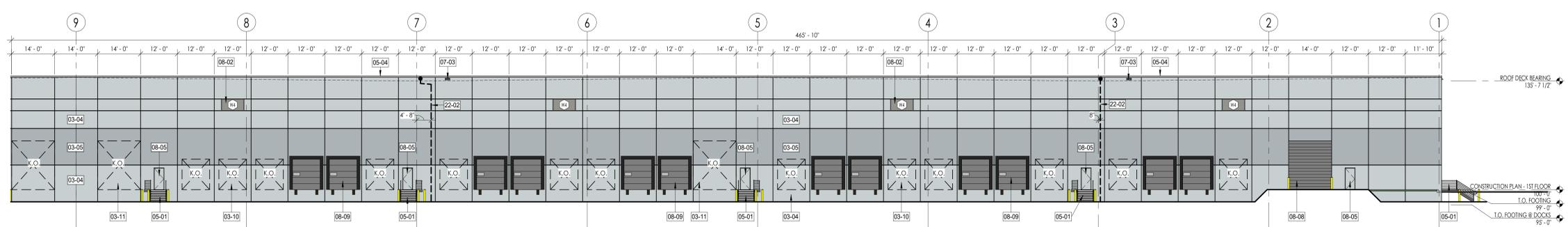
PROJECT ARCHITECT	SRC
PROJECT MANAGER	MAM
PROJECT NUMBER	211105
ISSUED FOR	MUNICIPAL REVIEW
DATE	JANUARY 6, 2022

SHEET
BUILDING ELEVATIONS

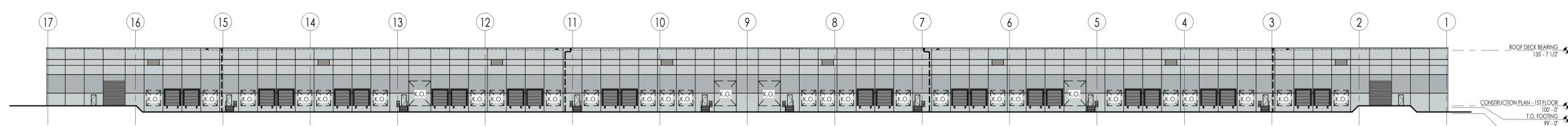
A401



3 NORTH ELEVATION 'B'
SCALE 1/16" = 1'-0"

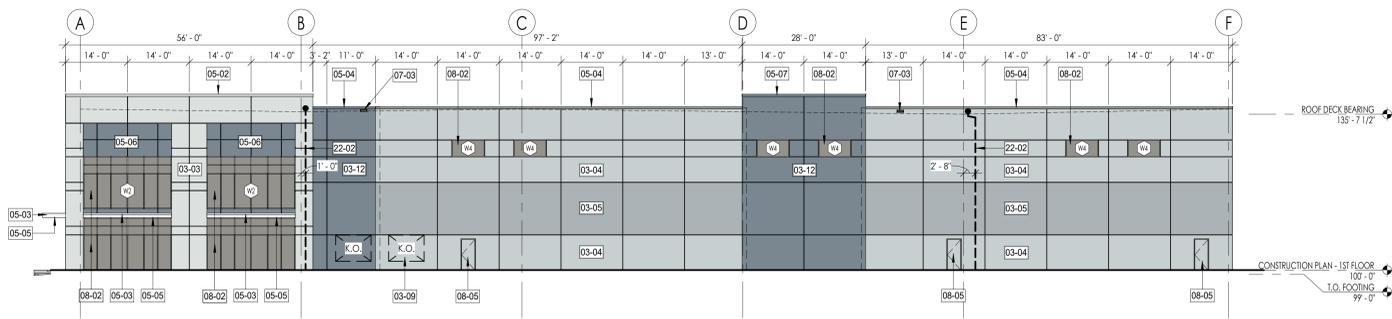


2 NORTH ELEVATION 'A'
SCALE 1/16" = 1'-0"



1 NORTH ELEVATION - OVERALL
SCALE 1" = 30'-0"



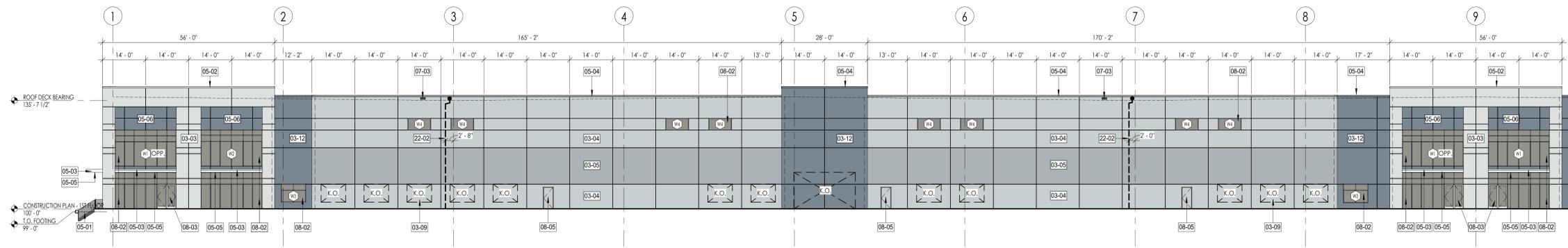


4 EAST ELEVATION
SCALE 1/16" = 1'-0"

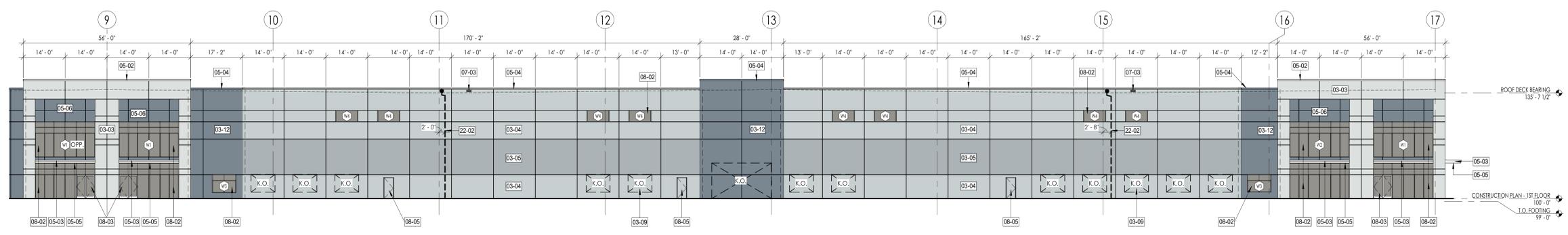


SHEET KEYNOTES

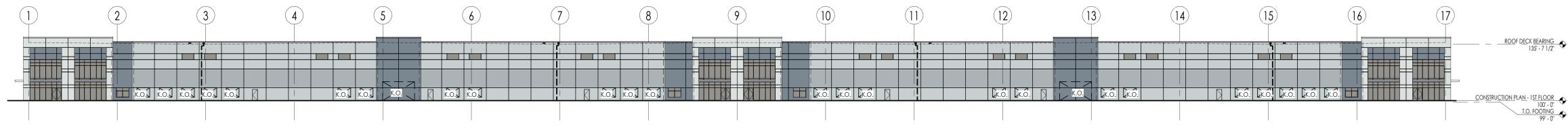
- 03-03 INSULATED PRECAST WALL PANEL ENTRANCE AREA COLOR (EPT1) - SHERWIN WILLIAMS COLOR: SW 6245 QUICKSILVER
- 03-04 INSULATED PRECAST WALL PANEL FIELD COLOR (EPT2) - SHERWIN WILLIAMS COLOR: SW 6246 NORTH STAR
- 03-05 INSULATED PRECAST WALL PANEL ACCENT BAND COLOR (EPT3) - SHERWIN WILLIAMS COLOR: SW 6248 JUBILEE
- 03-09 FUTURE PRECAST KNOCKOUT FOR PUNCHED WINDOWS
- 03-12 INSULATED PRECAST WALL PANEL ACCENT WALL COLOR (EPT4) - SHERWIN WILLIAMS COLOR: SW 6249 STORM CLOUD
- 05-01 DOCK STAR (AM8) - HOT DIPPED GALVANIZED METAL
- 05-02 PREFINISHED METAL COPING (AM1) - PAC-CLAD COLOR: STONE WHITE
- 05-03 PREFINISHED COMPOSITE CANOPY PANEL (AM5) - STONEWOOD ARCHITECTURAL PANEL COLOR: MATCH STOREFRONT WINDOW SYSTEM FINISH
- 05-04 PREFINISHED METAL COPING (AM10) - PAC-CLAD COLOR: CITYSCAPE
- 05-05 PREFINISHED COMPOSITE CANOPY SOFFIT PANEL (AM9) - STONEWOOD ARCHITECTURAL PANEL COLOR: MATCH STOREFRONT WINDOW SYSTEM FINISH
- 05-06 PREFINISHED COMPOSITE WALL PANEL (AM11) - STONEWOOD ARCHITECTURAL PANEL COLOR: SQUIRREL GREY 7000-CD
- 05-07 FILED FINISHED METAL COPING (AM12) - PAC-CLAD COLOR: MATCH SHERWIN WILLIAMS SW 6249 STORM CLOUD
- 07-03 PREFINISHED METAL THRU-WALL SCUPPER
- 08-02 ALUMINUM STOREFRONT WINDOW SYSTEM (AM2) - KAWNEER COLOR: CLEAR ANODIZED ALUMINUM
- 08-03 ALUMINUM STOREFRONT DOOR SYSTEM (AM3) - KAWNEER COLOR: CLEAR ANODIZED ALUMINUM
- 08-05 INSULATED STEEL DOOR & FRAME (EPT5) - SHERWIN WILLIAMS COLOR: SW 6246 NORTH STAR
- 22-02 ROOF DRAIN LEADER - CONFORM SIZE/LOCATION WITH D/B PLUMBING CONTRACTOR



3 SOUTH ELEVATION 'A'
SCALE 1/16" = 1'-0"



2 SOUTH ELEVATION 'B'
SCALE 1/16" = 1'-0"



1 SOUTH ELEVATION - OVERALL
SCALE 1" = 30'-0"



STEPHEN PERRY SMITH ARCHITECTS, INC.
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CREATIVITY BEYOND ENGINEERING

PROJECT

PROPOSED BUILDING FOR:
ZILBER INDUSTRIAL 5
GERMANTOWN GATEWAY CORPORATE PARK
GATEWAY CROSSING & ROCKFIELD ROAD
GERMANTOWN, WI

OWNER



CONTRACTOR



REVISIONS

NO.	DESCRIPTION	DATE
05-05		
05-08		

INFORMATION

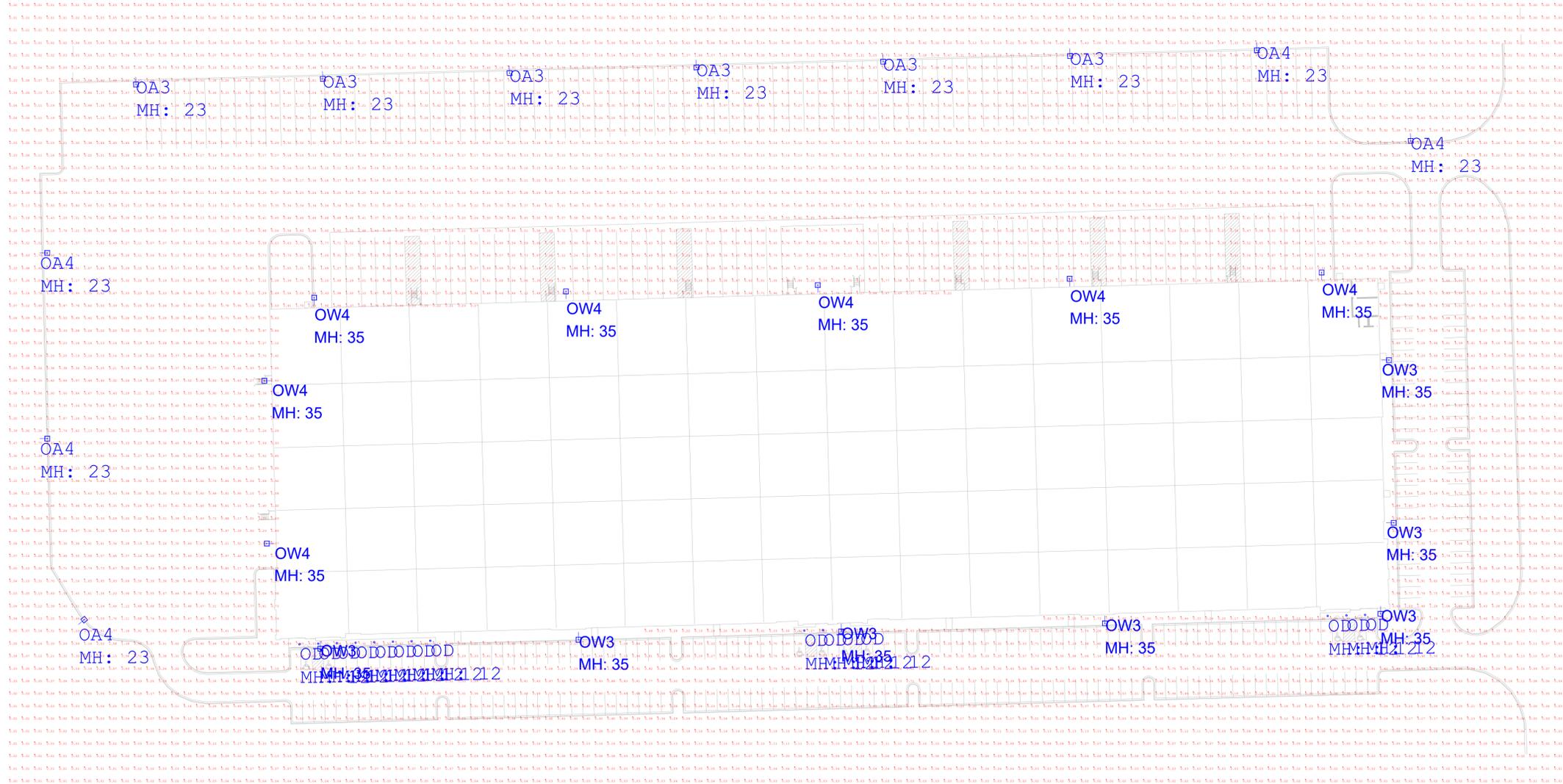
PROJECT ARCHITECT	SRC
PROJECT MANAGER	MAM
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ISSUED FOR	MUNICIPAL REVIEW
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SHEET
BUILDING ELEVATIONS

A402

Qty	Label	MFG	Description	LLF	Lum. Watts	Total Watts
6	OA3	Lithonia	RSX1 LED P2 xXK R3 MVOLT SPA (Finish) + 20' POLE + 3' BASE	1.000	72	432
5	OA4	Lithonia	RSX1 LED P2 xXK R4 MVOLT SPA (Finish) + 20' POLE + 3' BASE	1.000	72	360
15	OD	Lithonia	LDN4 xX10 LQAR LSS MVOLT (driver)	1.000	10.58	158.7
7	OW3	Lithonia	RSX1 LED P3 xXK R3 MVOLT WBx (Finish)	1.000	100	763
7	OW4	Lithonia	RSX1 LED P3 xXK R4 MVOLT WBx (Finish)	1.000	100	763

Label	Units	Avg	Max	Min	Max/Min	Avg/Min
East Parking Lot	Fc	0.88	2.2	0.4	5.50	2.45
South Parking Lot	Fc	0.70	3.4	0.2	17.00	3.50
Truck Courtyard	Fc	0.76	2.5	0.2	12.50	3.80



ENTERPRISE
Lighting & Control



COMMENTS

DATE

#

REVISIONS

DRAWN BY : JT

DATE : 12-28-2021

SCALE : 1" = 50'

ZILBER

GERMANTOWN, WI

Z5 SITE LIGHTING PLAN

RSX1 LED
ARISE LIGHTING

Specifications

Introduction: The new RSX1 ARISE family offers maximum... (text continues)

Part	Description	Notes
RSX1 LED P2 xXK R3 MVOLT SPA (Finish) + 20' POLE + 3' BASE

LDN4

Features & Specifications

Introduction: The LDN4 is a high-performance... (text continues)

Mounting Information

Mounting Options: (diagrams showing different mounting configurations)

LITHONIA LIGHTING

Features & Specifications

Introduction: Lithonia Lighting is a leader in... (text continues)

Product Details

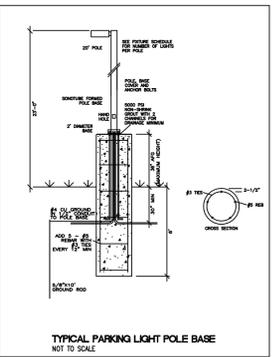
Product Line: (list of products)

LDN4

Photometry

Photometric Data: (tables showing beam spread, footcandle distribution, etc.)

Beam Spread: (diagrams showing beam spread at different heights)



STORM SEWER COMPUTATIONS
Z5 AT GERMANTOWN CORP. PARK

SHEET 1 OF 1
 DESIGN BY: PEM
 PROJECT NUMBER: 1296.00E
 DATE: 1/5/2022

WASHINGTON COUNTY, WI

DESIGN DATA

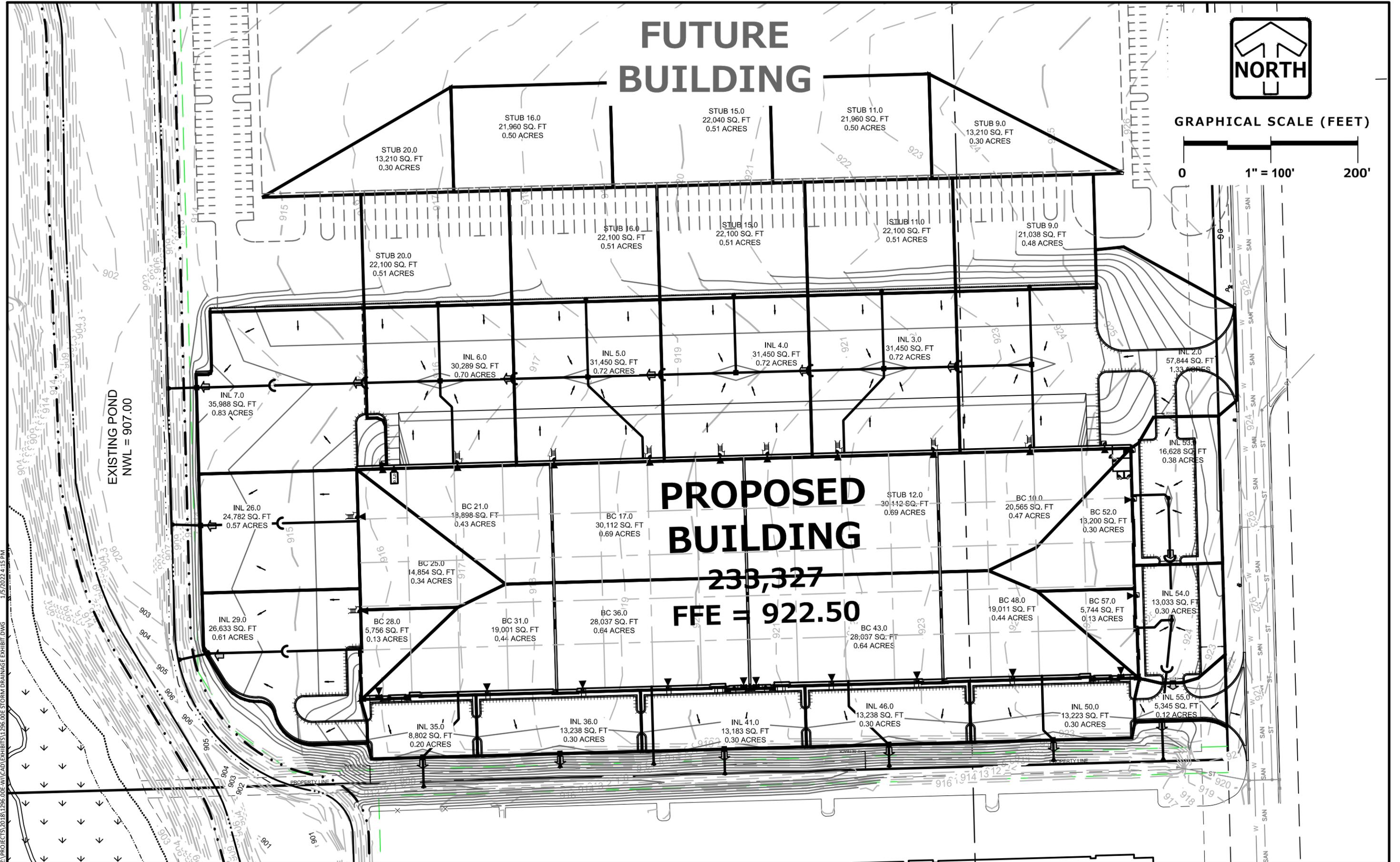
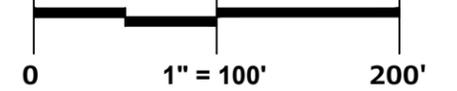
County: **Washington** Design Storm: **10** yr Storm Duration: **6** min DESIGN INTENSITY (I): **6.77** in/hr Intensity calculated using SEWRPC IDF equations.

STRUCTURE DATA			DRAINAGE AREA AND FLOW DATA				PIPE DATA				PIPE CAPACITY INFORMATION					ELEVATIONS		
Notes	Upstream Structure	Downstream Structure	Flow is determined by Rational Method Q = CIA				Length (ft)	Diameter (in)	Slope (%)	Manning Coefficient	Pipe capacity is determined by Manning's Equation Q = 1.486/n AR ^{2/3} S ^{1/2}					Rim/Toc Up	Invert Up	Invert Down
			Individual Acres A	Individual Coefficient C	Individual Flow Q (cfs)	Cumulative Flow (cfs)					Required Drop (ft)	Actual Drop (ft)	Percent Full (%)	Actual Velocity (fps)	Max. Capacity (cfs)			
NEW RUN	INL 2.0	INL 3.0	1.33	0.68	6.11	13.59	170.00	24	0.40	0.012	0.52	0.68	78%	5.56	16.67	916.70	912.70	912.02
	INL 3.0	INL 4.0	0.72	0.90	4.39	28.33	170.00	30	0.55	0.012	0.69	0.94	76%	7.55	35.45	916.70	911.92	910.98
	INL 4.0	INL 5.0	0.72	0.90	4.39	38.87	170.00	36	0.45	0.012	0.49	0.77	72%	7.62	52.14	916.70	910.88	910.12
	INL 5.0	INL 6.0	0.72	0.90	4.39	53.62	170.00	36	0.70	0.012	0.94	1.19	79%	9.66	65.03	916.70	910.02	908.83
	INL 6.0	INL 7.0	0.70	0.90	4.27	65.44	279.67	42	0.50	0.012	1.01	1.40	76%	8.99	82.90	916.70	908.73	907.33
	INL 7.0	ES 8.0	0.83	0.87	4.89	70.33	32.91	42	0.60	0.013	0.16	0.20	80%	9.17	83.83	915.50	907.20	907.00
	STUB 9.0	INL 2.0	0.79	0.86	4.61	4.61	90.00	15	0.55	0.012	0.39	0.50	79%	4.78	5.58	N/A	913.94	913.45
	BC 10.0	INL 2.0	0.47	0.90	2.86	2.86	95.00	10	1.50	0.011	1.16	1.43	80%	6.58	3.41	918.50	915.29	913.86
	STUB 11.0	INL 3.0	1.01	0.90	6.15	6.15	90.00	15	0.95	0.012	0.70	0.86	80%	6.29	7.34	N/A	914.02	913.17
	BC 12.0	INL 3.0	0.69	0.90	4.20	4.20	114.90	10	3.20	0.011	3.03	3.68	80%	9.62	4.98	918.50	915.67	911.99
	STUB 15.0	INL 4.0	1.01	0.90	6.15	6.15	90.00	15	0.95	0.012	0.70	0.86	80%	6.29	7.34	N/A	913.49	912.63
	STUB 16.0	INL 5.0	1.01	0.90	6.15	6.15	90.00	15	0.95	0.012	0.70	0.86	80%	6.29	7.34	N/A	912.62	911.77
	BC 17.0	INL 5.0	0.69	0.90	4.20	4.20	120.13	10	3.20	0.011	3.17	3.84	80%	9.62	4.98	918.50	915.67	911.82
	STUB 20.0	INL 6.0	0.81	0.90	4.94	4.94	90.00	15	0.60	0.012	0.45	0.54	80%	5.01	5.83	N/A	911.52	910.98
	BC 21.0	INL 6.0	0.43	0.90	2.62	2.62	100.24	10	1.25	0.011	1.03	1.25	80%	6.01	3.11	918.50	915.12	913.86
NEW RUN	BC 25.0	INL 26.0	0.34	0.90	2.07	2.07	181.17	10	0.80	0.011	1.16	1.45	79%	4.80	2.49	918.50	914.57	913.12
	INL 26.0	ES 27.0	0.57	0.90	3.47	5.54	32.97	12	3.00	0.013	0.80	0.99	79%	8.89	6.64	915.95	907.99	907.00
NEW RUN	BC 28.0	INL 29.0	0.13	0.90	0.79	0.79	174.05	10	0.30	0.011	0.16	0.52	54%	2.67	1.53	918.50	913.64	913.12
	INL 29.0	ES 30.0	0.61	0.84	3.47	4.27	34.23	12	1.75	0.013	0.49	0.60	80%	6.80	5.07	915.95	907.60	907.00
NEW RUN	BC 31.0	INL 34.0	0.44	0.90	2.68	2.68	91.20	10	1.30	0.011	0.98	1.19	80%	6.13	3.18	922.50	917.91	916.72
	INL 34.0	ES 35.0	0.20	0.84	1.14	3.82	34.55	12	1.40	0.013	0.40	0.48	80%	6.08	4.53	919.55	909.18	908.70
NEW RUN	INL 36.0	ES 37.0	0.30	0.82	1.67	1.67	16.05	12	3.00	0.013	0.04	0.48	32%	6.67	6.64	919.55	915.55	915.07
NEW RUN	BC 38.0	ES 39.0	0.64	0.90	3.90	3.90	89.61	12	3.00	0.013	1.07	2.69	60%	8.31	6.64	922.50	918.50	915.81
NEW RUN	INL 41.0	ES 42.0	0.30	0.84	1.71	1.71	29.37	12	3.00	0.013	0.07	0.88	32%	6.72	6.64	919.55	911.32	910.44
NEW RUN	BC 43.0	INL 46.0	0.64	0.90	3.90	3.90	92.10	10	2.75	0.011	2.09	2.53	80%	8.92	4.62	922.50	919.25	916.72
	INL 46.0	ES 47.0	0.30	0.82	1.67	5.56	25.52	12	2.95	0.013	0.62	0.75	80%	8.83	6.58	919.55	912.05	911.30
NEW RUN	BC 48.0	INL 50.0	0.44	0.90	2.68	2.68	78.15	10	1.35	0.011	0.84	1.06	79%	6.23	3.24	922.50	917.77	916.72
	INL 50.0	ES 51.0	0.30	0.82	1.67	4.35	24.44	12	1.80	0.013	0.36	0.44	80%	6.90	5.14	919.55	913.16	912.72
NEW RUN	BC 52.0	INL 53.0	0.30	0.90	1.83	1.83	43.39	10	0.60	0.011	0.22	0.26	80%	4.17	2.16	922.50	918.22	917.96
	INL 53.0	INL 54.0	0.38	0.63	1.62	3.45	139.72	12	1.00	0.012	1.12	1.40	79%	5.56	4.15	920.80	917.70	916.30
	INL 54.0	INL 55.0	0.30	0.66	1.34	5.59	114.21	15	0.80	0.012	0.73	0.91	79%	5.77	6.73	920.80	915.95	915.04
	INL 55.0	ES 56.0	0.12	0.70	0.57	6.15	46.99	15	1.10	0.013	0.43	0.52	80%	6.25	7.29	920.35	913.38	912.86
	BC 57.0	INL 54.0	0.13	0.90	0.79	0.79	42.39	10	0.37	0.011	0.04	0.16	50%	2.89	1.69	922.50	918.12	917.97

FUTURE BUILDING



GRAPHICAL SCALE (FEET)



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ZILBER INDUSTRIAL 5 - STORM SEWER DRAINAGE EXHIBIT

1/5/2022

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